



TOWN OF GREEN MOUNTAIN FALLS PLANNING COMMISSION MEETING

MAY 14, 2019
6:30 PM

AGENDA

- I. **CALL TO ORDER**
- II. **ADDITIONS, DELETIONS, & CORRECTIONS TO THE AGENDA**
- III. **APPROVAL OF MINUTES**
 - a. April 23, 2019 Meeting Minutes
- IV. **PUBLIC INPUT**
- V. **NEW BUSINESS**
 - a. Introduce Julia Simmons, GMF Town Planner
 - b. **Plan Review PR 008** – Construction SFH, 11045 Iona Avenue – Mike Rice of Paramount Builders on behalf of Todd and Nancy Dixon, Owners
 - c. **Plan Review PR 009** – Carport, 10971 Iona Avenue – Larry Nienhueser
 - d. **Plan Review PR 010** – Architectural Review, 11160 Belvidere Avenue – Judith Piazza
 - e. **Preliminary Meeting** – Review Request for Vacation of ROW, 11160 Belvidere Avenue – Judith Piazza, Owner
 - f. **Ordinance 2019-02** – Discussion §16-711 Green Mountain Falls Municipal Code
 - g. **Recommendation to Board of Trustees** - (Tabled 23 April 2019 Meeting)
 - i. Clarification of Zoning Classifications
 - ii. Overlapping Zoning (e.g., Pool and Park)
 - iii. Public Facilities Classification
- VI. **UNFINISHED BUSINESS**
 - a. **Rezoning Ordinance 2019-03** – Update and Discussion Concerning Town Hall Zoning Designation
 - b. **Frequently Asked Questions** (Tabled 12 March 2019)
 - c. **Revision to Municipal Code** – Discussion and Recommendation §16-705(c)(1) Architectural Review (Tabled 12 March 2019)
 - d. **Comprehensive Plan Update 2020** – Review Parts 1 and 2
- VII. **ADJOURNMENT**

**TOWN OF GREEN MOUNTAIN FALLS
Planning Commission
10615 Green Mountain Falls Road
April 23, 2019 6:30 P.M.**

MEETING MINUTES

Commission Members Present

Chair Eric Caldwell
Vice Chair Dick Bratton
Commissioner Roco Blassi
Commissioner Nathan Scott
Commissioner Gregory Williamson

Commission Members Absent

Mayor Jane Newberry

Secretary

Laura Kotewa

1. Call to Order/Roll Call

Chairman Caldwell called the meeting to order at 6:32 p.m.

2. Additions, Deletions, or Corrections to the Agenda

3. Approve PC Minutes of March 26th meeting

M/S: Chairman Caldwell/Vice Chairman Bratton

Motion: Approve the agenda as submitted

Vote: Y: 5 Motion carried

4. Public Input

5. Comp Plan Update

Presentation given by Logan Simpson planners Megan Moore and Christy Bruce. Future updates: May 28th Planning Commission meeting the planners will present the entire plan; final adoption in June 2019.

Discussion regarding new “downtown village” designation. Next steps for the town will be to review and redefine the zoning designations to maintain the vibrancy of the existing commercial district.

6. New Business

a. PR 008 - 11045 Iona-New Home-Todd Dixon-BUILDER: Mike, Paramount Homes

Paramount homes corrected the agenda and record: existing plans no longer include grading and fill to change the elevation of Iona Ave.

Vice Chairman Bratton: the Town Code enables the Commission to request an independent engineering firm review the submitted grading and erosion control plan.

The architect and builder prefer the independent engineering review occur as soon as possible and that Paramount Homes be invoiced for the work.

Vice Chairman Bratton: asks the builder and owner to consider designing the driveway be moved west to decrease the steep grade that will result from existing proposed plans.

Discussion regarding the existing Colorado Springs Utilities transformer that may impede any change to moving the driveway further west.

M/S: Chairman Caldwell/Vice Chairman Bratton

Motion: Staff will submit the applicant's grading, drainage, and erosion control plans to independent on-call engineering firm for review; if approved, the PC will recommend approval to BoT

Vote: Y: 5 Motion carried

b. PR 005 - Replace Deck- 10700 Grandview-Sean and Kay Rice-Work Bench Builders

Greg from Wickham's Work Bench presented on behalf of the home owner and applicant. There will not be any change to footprint; the existing frame will be used to support new redwood deck.

Vice Chairman Bratton: review requirements per Town Code; however, the structure nor the footprint will be changing, so existing setbacks of 12 ft will be grandfathered in.

M/S: Vice Chairman Bratton/ Commissioner Williamson

Motion: Approve plans as presented for an improved deck at 10700 Grandview Ave

Vote: Y: 5 Motion carried

c. PR 007 - Add a Deck- 10615 Illinois- Debora Hydeman, Winds of Change Builders

Applicant does not have a GMF Town permit; has received PPRBD-stamped plans. Builder has begun some construction due to owner's availability.

Plan as presented is not compliant with Town Code setback requirements.

M/S: Vice Chairman Bratton/ Commissioner Scott

Motion: Approve plans for a new deck at 10615 Illinois Ave with following condition: applicant to decrease square footage to meet the 10-foot setback on the northeast side of the property line.

Vote: Y: 5 Motion carried

d. PR 006 – Deck- 6885 Park Ave- Debora Hydeman, Winds of Change Builders

Plans to improve existing deck; no change in footprint nor materials

M/S: Chairman Caldwell/Vice Chairman Bratton

Motion: Approve plans as presented for an improved deck at 6885 Park Ave.

Vote: Y: 5 Motion carried

Item 7f moved from Old Business to New Business

Discussion of Angel Trail and a trash enclosure- Gail Gerig

Ms. Gerig presented information regarding her property at 0 Scott Ave and the survey work she has contracted to determine whether Angel Trail goes through her property. Ms. Gerig will continue to work with Commissioner Rossi in his capacity as a member of the Trails Committee.

There is a cinderblock structure that is in the public right-of-way on Iona Ave. Appears to have been a trash enclosure that is not in use by current resident.

Staff will investigate concern that structure may obstruct traffic flow.

e. Discuss Ordinance 2019-02 Reenacting Section 16-711 Zoning Amendments

f. Discuss the following: (referred to the PC by Town Board at April 2 TB Meeting Ordinance 2019-03)

1. Clarification of the zoning classifications listed in code
2. Overlapping zoning such as the Pool and surrounding park land
3. Zoning classification for Public Facilities, and whether they should be different from one another

Chairman Bratton proposes that he will compose a letter to the Board of Trustees providing clarification on any points of confusion regarding the zoning ordinance

M/S: Vice Chairman Bratton/ Chairman Caldwell

Motion: Vice Chairman Bratton will write a letter to the BoT regarding zoning ordinance; Planning Commission to table this item for the May 14, 2019 meeting for approval of the letter.

Vote: Y: 5 Motion carried

7. Old Business

a. PR 002 - Replace Decks-6825 Howard-Bradley Ware (tabled from Mar 26)

M/S: Vice Chairman Bratton/ Commissioner Scott

Motion: Approve plans as presented for deck improvement at 6825 Howard Ave

Vote: Y: 5 Motion carried

In the interest of time, the remaining items will be tabled until the next meeting.

M/S: Chairman Caldwell/Vice Chairman Bratton

Motion: Table items

Vote: Y: 5 Motion carried

b. Resubmit Request to TB to Rezone Town Hall Parcel from B to PF (Ord 2019-03)

(Tabled by TB at Apr 2 TB Meeting)

c. Finalize Frequently Asked Questions- (tabled from Mar 12)- Caldwell.

d. Discussion of revision to Sec 16-705 Architectural Review (c)(1) Materials-
(tabled from Mar 12)- Caldwell

f. Discussion of Angel Trail and a trash enclosure- Gail Gerig

Discussed under new Business after item 6d

8. Adjourn

There being no further business, the meeting adjourned at – p.m.

Cactus Caldwell, Chair

Laura Kotewa, Town Clerk/Treasurer

DIXON RESIDENCE



GENERAL NOTES:

1. APPLICABLE CODES:
ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE GOVERNING CODES AND APPLICABLE STANDARDS.
2. DIMENSIONS:
DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF STUD, STRUCTURAL INSULATED PANELS, FACE OF CONCRETE, OR FACE OF ICF UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE CONFIRMED AND CORRELATED BY THE CONTRACTOR AT THE JOB SITE. IN CASE OF QUESTIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR FURTHER CLARIFICATION.
3. GUARANTEE:
THE ARCHITECT MAKES NO EXPRESSED OR IMPLIED GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.
4. NOTE TO GENERAL CONTRACTOR, BUILDER AND TRADES:
RESPONSIBILITIES SHALL INCLUDE: CONFIRMATION AND CORRELATION OF ALL DIMENSIONS AT THE JOB SITE; FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION; COORDINATION OF ALL OTHER TRADES; FURNISHING ALL ITEMS REQUIRED FOR THE PROPER EXECUTION, COMPLETION AND SATISFACTORY PERFORMANCE OF ALL WORK NECESSARY; INDICATED REASONABLY INFERRED OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A PROPERLY FINISHED JOB. IN CASE OF ANY QUESTIONS OR NEED FOR FURTHER CLARIFICATION OF INFORMATION AND OR DETAILS, CONTACT THE ARCHITECT PRIOR TO FURTHER CONSTRUCTION OR FABRICATION FOR ITEMS IN QUESTION. IN ANY ASPECT THAT THE PLANS ARE NOT FOLLOWED, THE ARCHITECT ACCEPTS NO RESPONSIBILITY.
5. PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION PER SOILS REPORT RECOMMENDATIONS.
6. WATER RESISTANT GYPSUM BOARD SHALL BE USED AT ALL WET AREAS AS REQUIRED BY BUILDING CODE.
7. OPEN GUARDRAILS SHALL BE @ 36" A.F.F. & SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL PATTERNS SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH.
8. PROVIDE PRIVACY LATCH @ ALL BEDROOM AND BATHROOM DOORS.
PROVIDE KEYED ENTRY AND DEADBOLT @ ALL EXTERIOR DOORS.
9. COORDINATE WITH OWNER ALL CLOSET CABINET AND SHELF DESIGNS
10. WINDOW SIZES SHOWN ARE NOMINAL DIMENSIONS. CONTRACTOR TO VERIFY RO'S PRIOR TO FRAMING.
11. ALL EXTERIOR ROUGH OPENINGS SHOWN IN PLANS & ELEVATIONS ARE IN FEET AND INCHES 3046 = 3'-0" X 4'-6" NOMINAL ROUGH OPENING

FIRE SEPARATION NOTES:

1. AT WALLS BETWEEN GARAGE AND LIVING AREAS PROVIDE 5/8" TYPE "X" GYPSUM WALL BOARD ON THE GARAGE SIDE OF WALLS - TAPE AND FINISH
2. AT CEILINGS BETWEEN GARAGE AND LIVING AREAS PROVIDE 5/8" TYPE "X" GYPSUM WALL BOARD ON GARAGE SIDE OF CEILINGS. FASTEN TO TRUSSES OR TO CONVENTIONAL FRAMING - TAPE AND FINISH.
3. AROUND STRUCTURAL ELEMENTS, IN GARAGE, PROVIDE 5/8" TYPE "X" GYPSUM WALL BOARD - TAPE AND FINISH.
4. WHERE APPLICABLE DUCTS BETWEEN GARAGE AND LIVING AREAS SHALL BE 26 GA. MIN.
5. AT WALLS AND CEILINGS IN ENCLOSED USABLE SPACES UNDER STAIRS PROVIDE 5/8" TYPE "X" GYPSUM WALL BOARD ON THE ENCLOSED SIDE OF WALLS AND CEILINGS

INDEX OF DRAWINGS:

- T1.1 COVER SHEET
CIVIL ENGINEERING
- 1 GRADING & EROSION PLAN
2 SITE GRADING PLAN
3 GRADING & EROSION CONTROL PLAN - DETAIL SHEET
- ARCHITECTURAL
- A1.1 SITE & GRADING PLAN
A2.1 LOWER LEVEL FLOOR PLAN
A2.2 MAIN LEVEL FLOOR PLAN
A3.1 BUILDING ELEVATIONS
A3.2 BUILDING ELEVATIONS
A4.1 BUILDING SECTIONS
- STRUCTURAL
- S1.1 FOUNDATION LAYOUT & DIMENSIONS
S2.1 FLOOR FRAMING PLAN
S2.2 ROOF FRAMING PLAN
S2.3 SCHEMATIC TRUSS DIAGRAMS

SQUARE FOOTAGE TOTALS:

FINISHED SQ. FT.:	
LOWER LEVEL:	425 S.F.
MAIN LEVEL:	1508 S.F.
TOTAL FIN. S.F.:	1933 S.F.
UNFINISHED SQ. FT.:	
LOWER LEVEL STOR/MECH:	259 S.F.
GARAGE:	824 S.F.
TOTAL UNFIN. S.F.:	1083 S.F.
TOTAL GROSS S.F.:	3016 GROSS S.F.

2015 IECC - TABLE 402.1.2

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U FACTOR	SKYLIGHT U FACTOR	GLAZED FENESTRATION SHGC	CEILING R VALUE	WOOD FRAME WALL R VALUE	MASS WALL R VALUE & DEPTH	FLOOR R VALUE	BSMT WALL R VALUE	SLAB R VALUE & DEPTH	CRAWL SPACE WALL R VALUE
5	.32	.55	NR	49	20 or 13 + 5	13/17	30	15/19 *	10, 2ft	15/19

* PER PPRBD - R8C308.4.12 TABLE R402.12. UNDER THE 'BASEMENT WALL R-VALUE' COLUMN FOR CLIMATE ZONE 5 DELETE '15/19' AND REPLACE WITH '10/13'

OWNERS:

TODD & NANCY DIXON
ADDRESS:
PHONE #: (303) 918-9443

STREET ADDRESS:

11045 IONA AVENUE
GREEN MOUNTAIN FALLS, COLORADO 80819

SCHEDULE #:

8308214036

ZONING:

R-1

LEGAL DESCRIPTION:

LOTS 12 - 15 INCL BLK 27 THIRD ADD TO GREEN MTN FALLS, EX TR CONV BY BK 1977-990, EX R/W FOR RD CONV TO TOWN OF GREEN MOUNTAIN FALLS BY BK 1705-604

APPLICABLE CODES:

BUILDING - 2015 1BC
BUILDING RESIDENTIAL - 2015 1RC
MECHANICAL - 2015 IMC
PLUMBING - 2015 IPC
ELECTRICAL - 2014 NEC
ENERGY CODE - 2015 IECC
PPRBC - 2017



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EL PASO COUNTY

PRELIM:

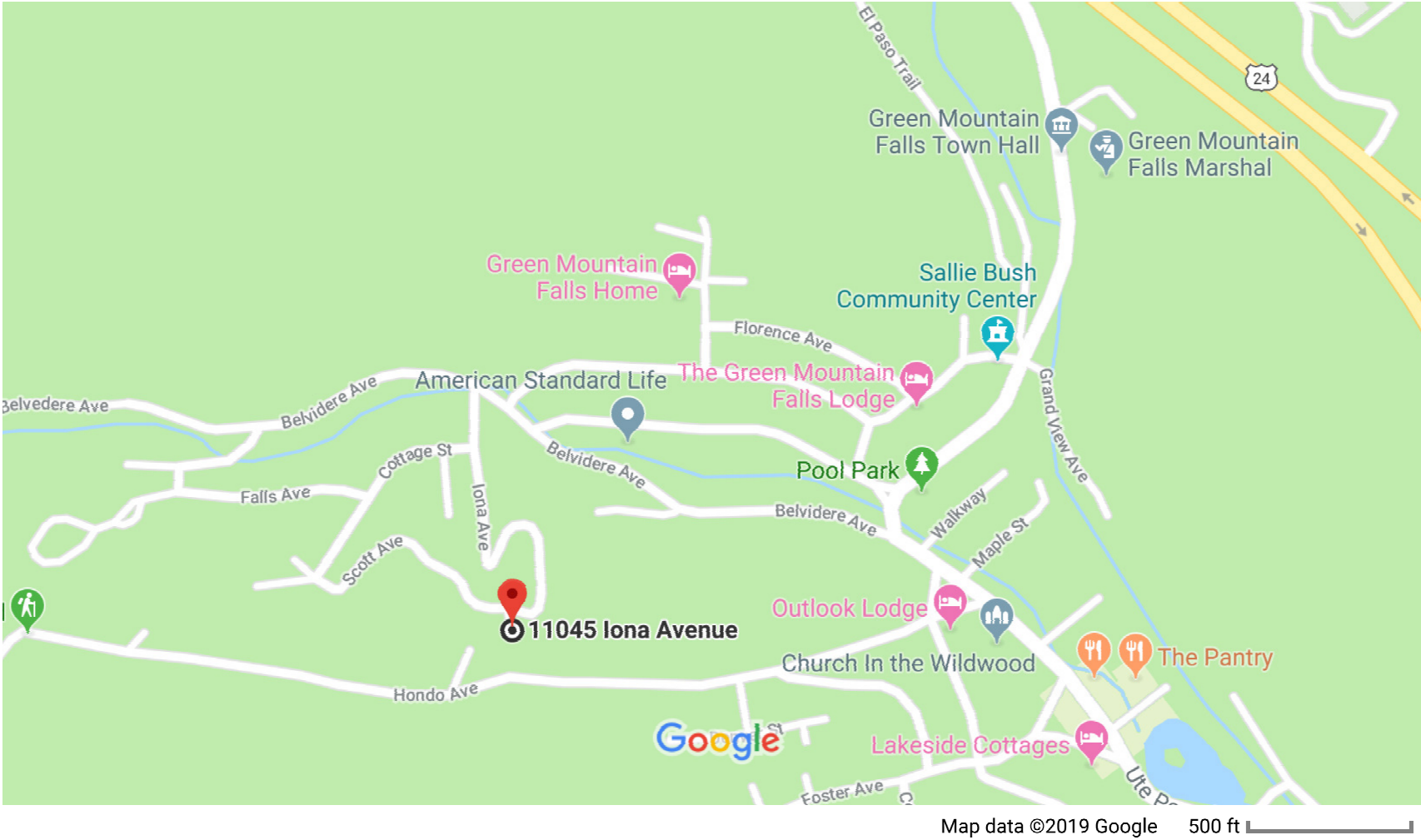
RELEASE: 04.01.19

REV'D:

SHEET

T1.1

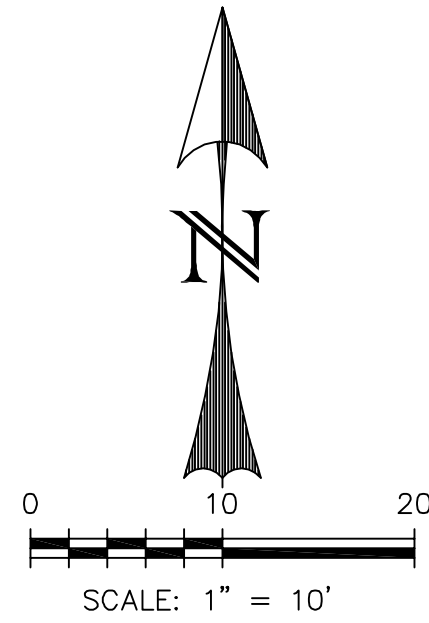
PROJECT #: 1838



1 VICINITY MAP
NOT TO SCALE



COVER SHEET



LEGEND

- EXISTING
- PROPOSED
- FUTURE
- CURB AND GUTTER
- EASEMENT
- BOUNDARY
- RIGHT-OF-WAY
- LOT LINE
- EASEMENT
- SETBACK
- (E) CONTOUR, INDEX
- (E) CONTOUR
- (E) STORM SEWER, INLET, MH
- (E) LANDSCAPE PLANT
- (P) CONTOUR, INDEX
- (P) CONTOUR
- (P) STORM SEWER, INLET, MH
- CURB TYPE CALL-OUT

- (E)
- (P)
- (F)
- C&G
- ESMT
- 6860
- 6860
- 6860
- TYPE

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SIZE:

.5132 ACRES = 22,355 S.F.

LOT COVERAGE:

BUILDING FOOTPRINT
INCLUD'G COV. PATIOS: 1850 S.F.
TOTAL LOT COVERAGE: 8.3%

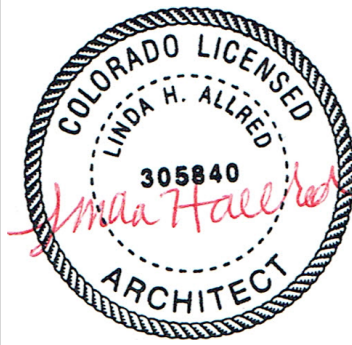
NOTES:

CIVIL EL.: 7946.5 = ARCH EL. 100'-0"

BUILDING HEIGHT:

HIGH GRADE: 7955
LOW GRADE: 7934
AVERAGE GRADE: 7944.5 = ARCH EL. 98'-0"
MAXIMUM ALLOWABLE: 7944.5 + 30' = 7974.5
= ARCH EL.: 128'-0"

ACTUAL BLDG HGT: 7966.5 = ARCH 120
= 22' BLDG HGT (30' ALLOWABLE)



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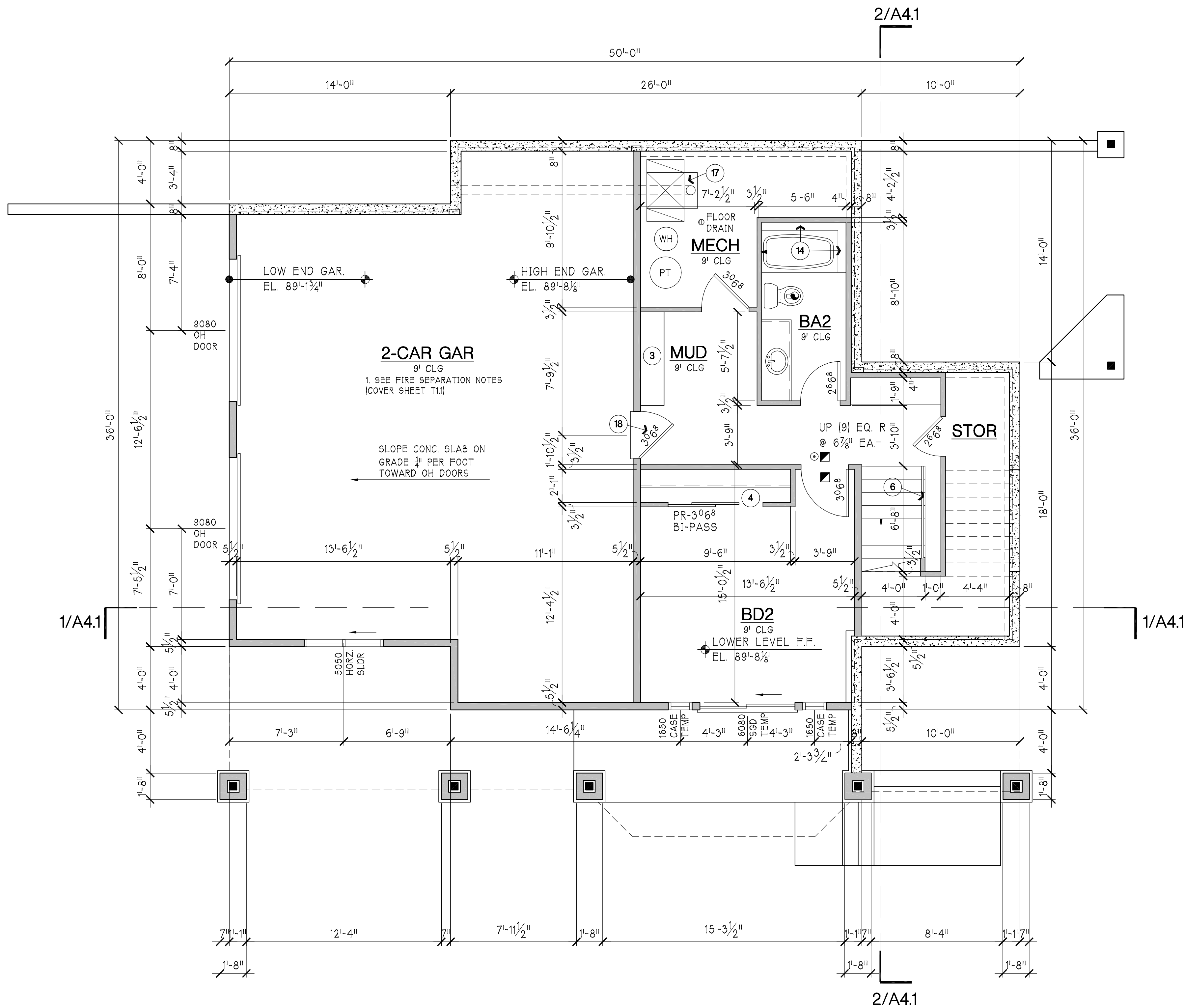
REV'D:

SHEET

A1.1

PROJECT #: 1838

SITE PLAN



1 LOWER LEVEL FLOOR PLAN

1/4" = 1'-0"

CODED NOTES:

- 1 ICC LISTED GAS FIRED FIREPLACE W/ FLUSH HEARTH AND NON-COMBUSTIBLE SURROUND. TOP VENT THRU ROOF. COORDINATE FRAMING DIMENSIONS WITH SELECTED MODEL

2 ICC LISTED GAS FIRED FIREPLACE FOR EXTERIOR INSTALLATION W/ NON-COMBUSTIBLE SURROUND AND HEARTH. TOP VENT THRU ROOF.

3 BUILT IN BENCH @ +18" A.F.F.

4 COORDINATE CLOSET ROD & SHELF CONFIGURATION WITH OWNERS

5 TILED BENCH @ +18" A.F.F., SLOPE TOWARDS SHOWER DRAIN

6 OPEN GUARDRAIL @ +36" A.F.F.

7 BUILT IN BENCH @ +18" A.F.F. W/ STORAGE BELOW

8 DECORATIVE (NON-STRUCTURAL) TIMBER TRUSS SEE 1/A3.2

9 DECORATIVE (NON-STRUCTURAL) TIMBER RIDGE BM SEE 1/A3.2

10 FLAT FRAME @ POCKET FOR ELECTRICAL SWITCHES.

11 PROVIDE 22"x30" MIN. ATTIC ACCESS PER IRC R807.4

12 PROVIDE 100 SQ. INCH FRESH AIR LOUVER ABOVE DOOR

13 30" X 6'-8" CASSED OPENING

14 6" TILED SHELF 4" ABOVE TOP OF TUB

15 1/2 WALL TO +36" A.F.F.

16 TOP OF DESK @ +30" A.F.F., OPEN BELOW

17 HIGH EFFICIENCY GAS FIRED FORCED AIR FURN. VENT PER CODE

18 INSULATED METAL, 20 MIN. DOOR & FRAME, SMOKE SEAL & CLOSER

GENERAL NOTES:

SEE SHEET T1.1

FIRE SEPARATION NOTES:

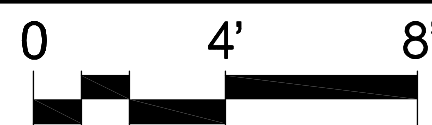
SEE SHEET T1.1

STAIR NOTES:

SEE SHEET A4.1

LEGEND

- EXHAUST FAN
- SMOKE DETECTOR, INTERLINKED & HARDWIRED
- CO DETECTOR



LOWER LEVEL FLOOR PLAN



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PRELIM:

RELEASE: 04.01.19

REV'D:

SHEET

A2.1

PROJECT #: 1838



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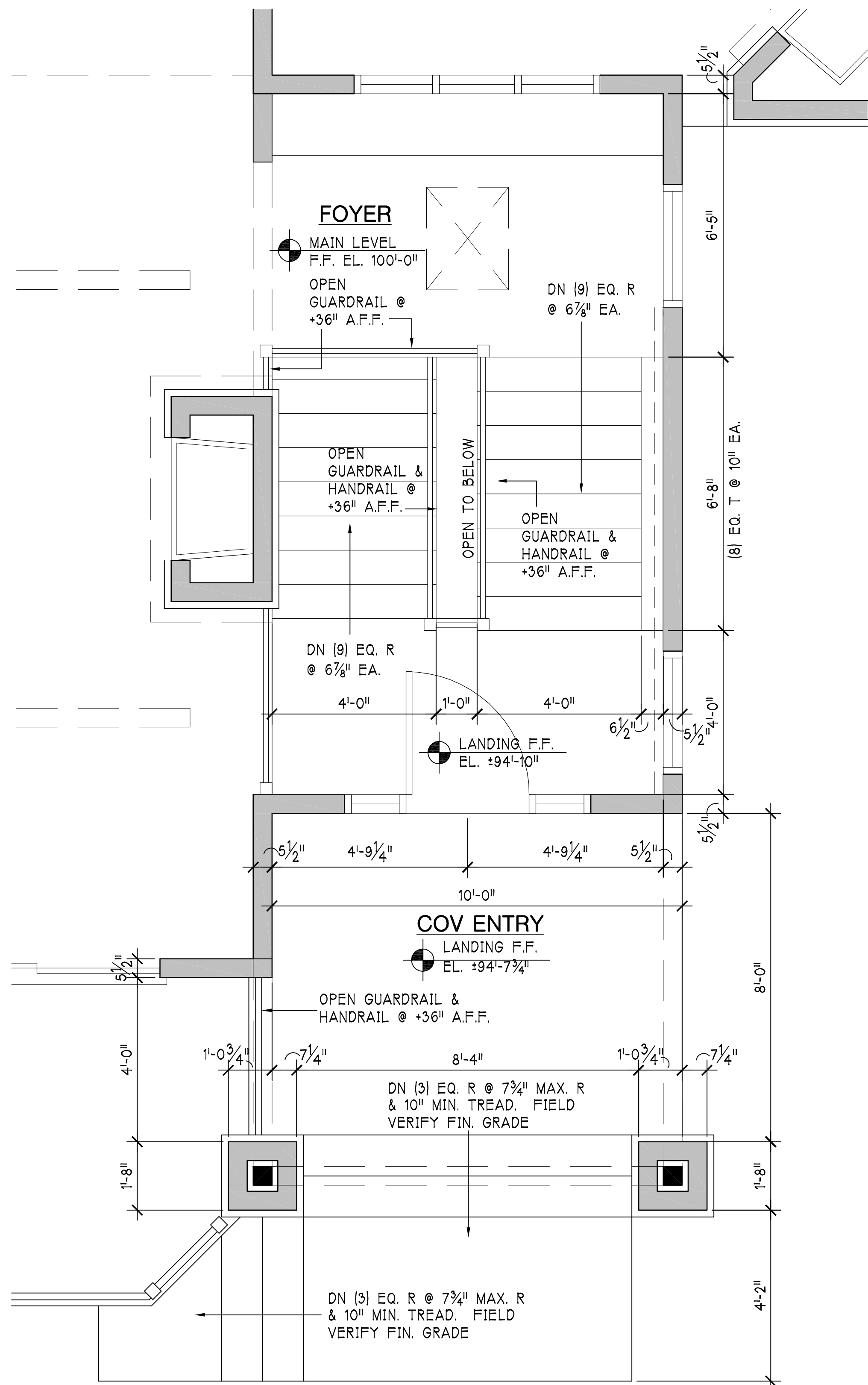
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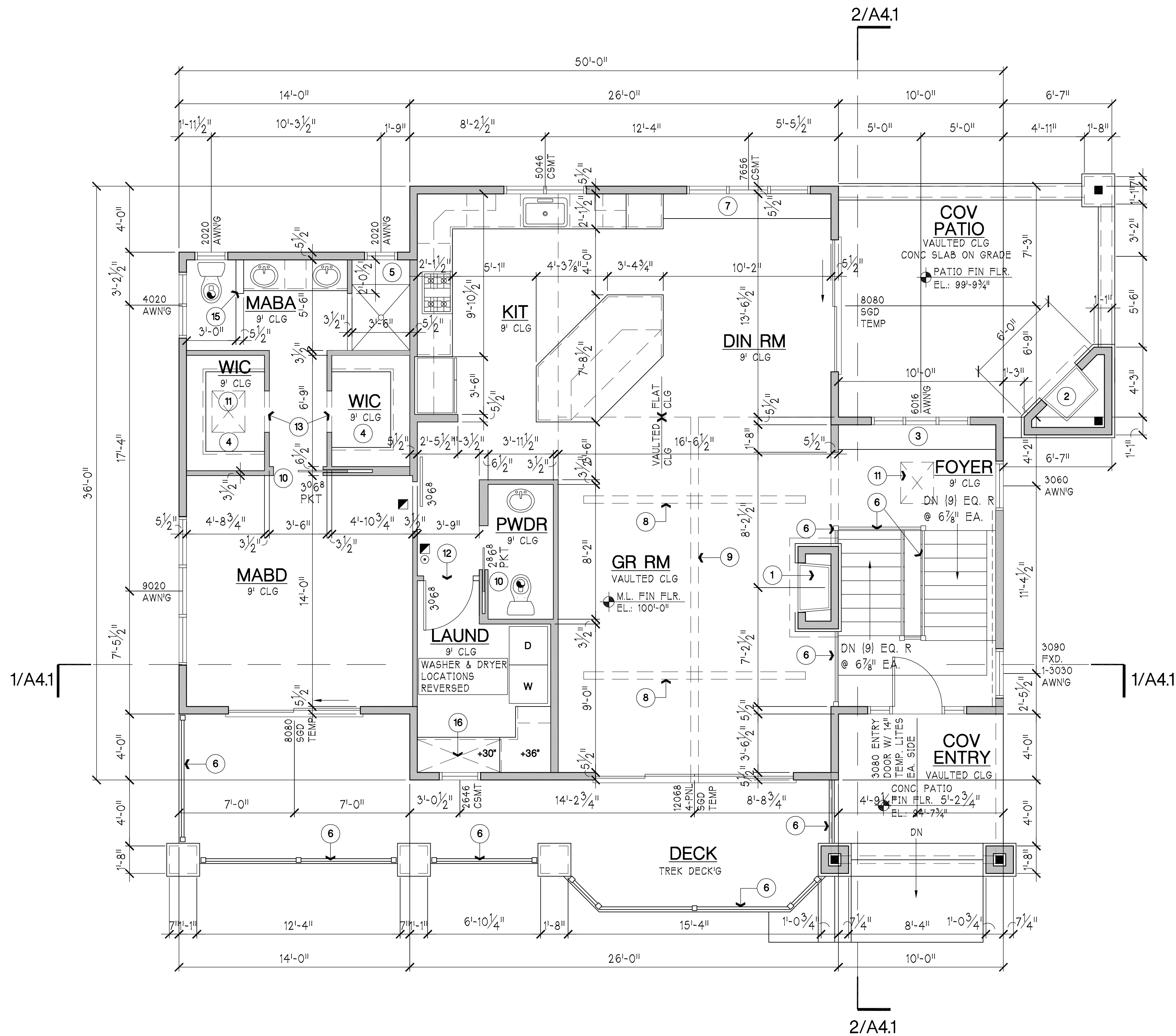
A2.2

PROJECT #: 1838



2 ENLARGED STAIR PLAN

1/2" = 1'-0"



1 MAIN LEVEL FLOOR PLAN

1/4" = 1'-0"

CODED NOTES:

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- INSULATED METAL, 20 MIN. DOOR & FRAME, SMOKE SEAL & CLOSER

GENERAL NOTES:

SEE SHEET T1.1

FIRE SEPARATION NOTES:

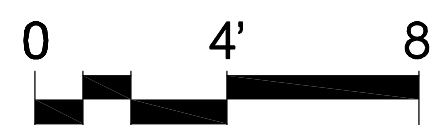
SEE SHEET T1.1

STAIR NOTES:

SEE SHEET A4.1

LEGEND

- EXHAUST FAN
- SMOKE DETECTOR INTERLINKED & HARDWIRED
- CO DETECTOR



MAIN LEVEL FLOOR PLAN



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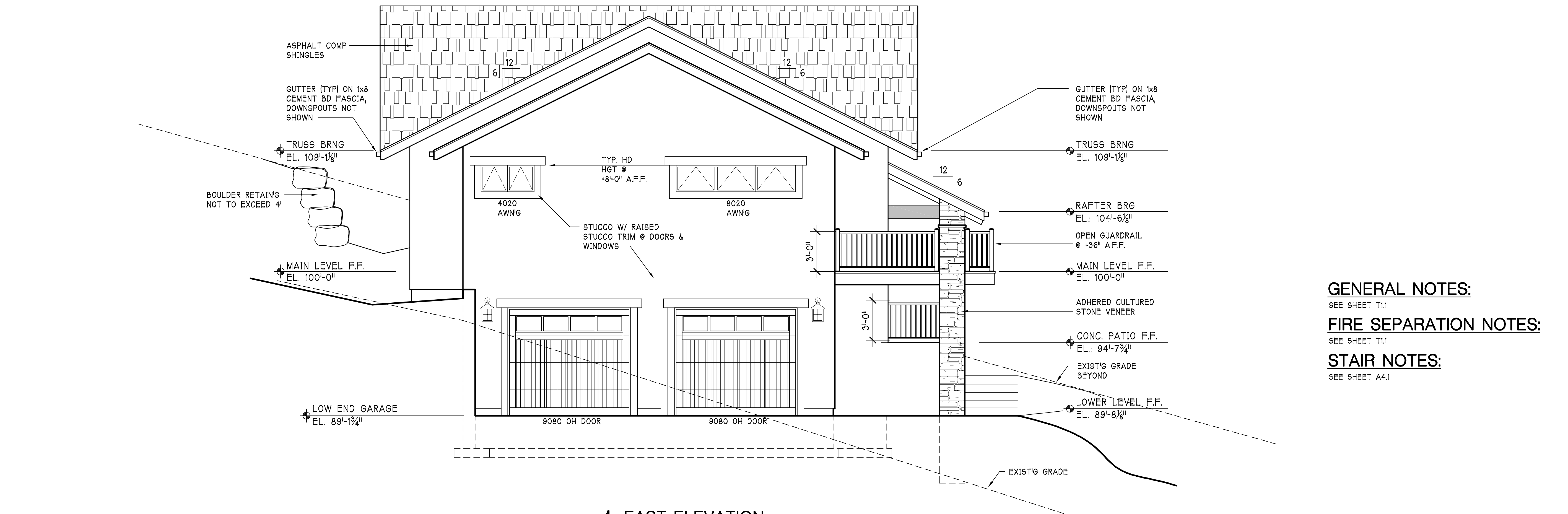
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LEASE: 04.01.19

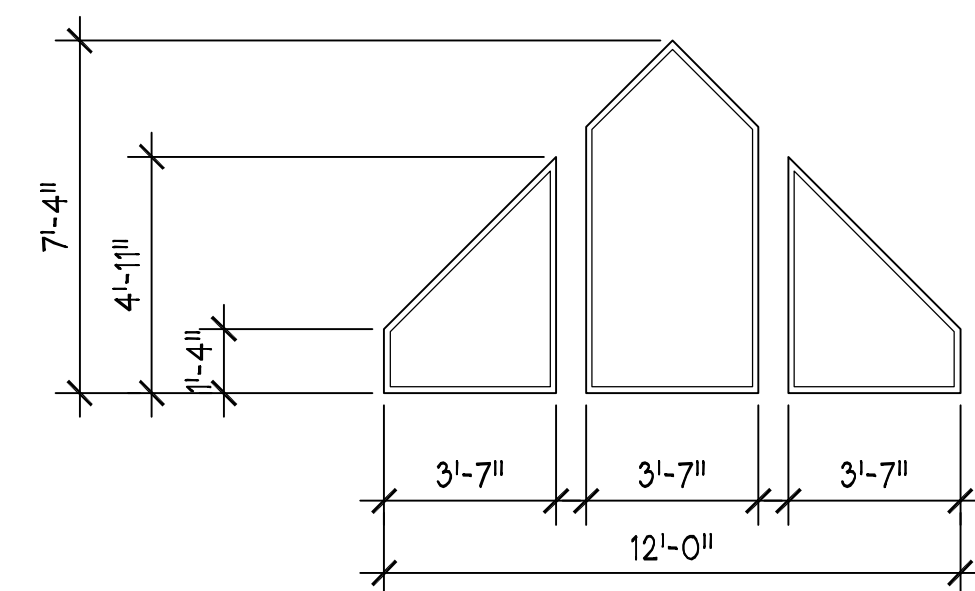
V'D:

A3.1

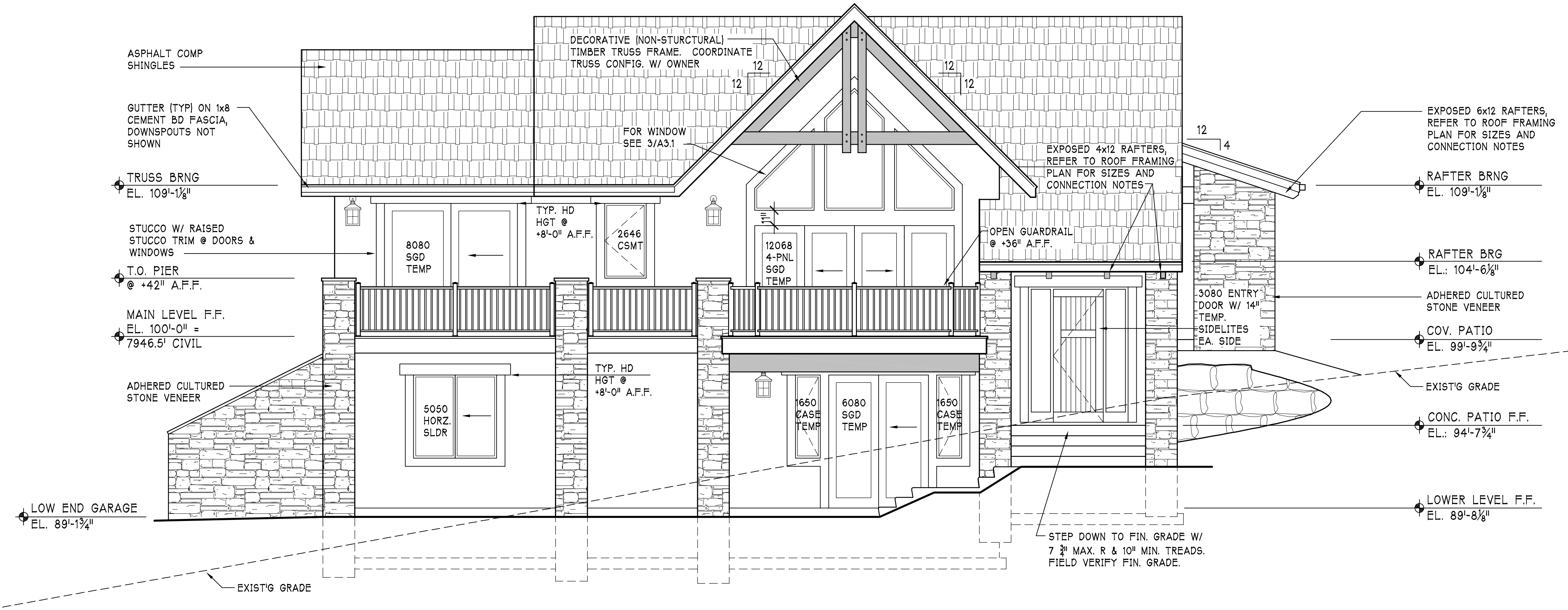
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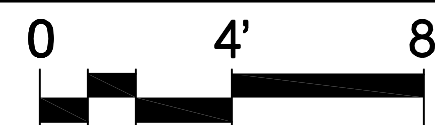
1 EAST ELEVATION



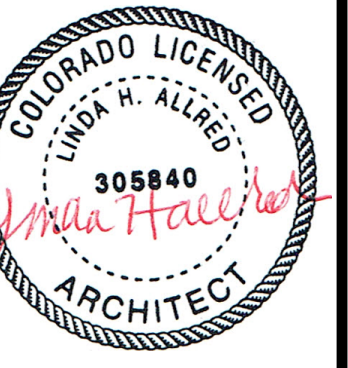
3 SPECIALTY WINDOW



2 NORTH ELEVATION



BUILDING ELEVATIONS



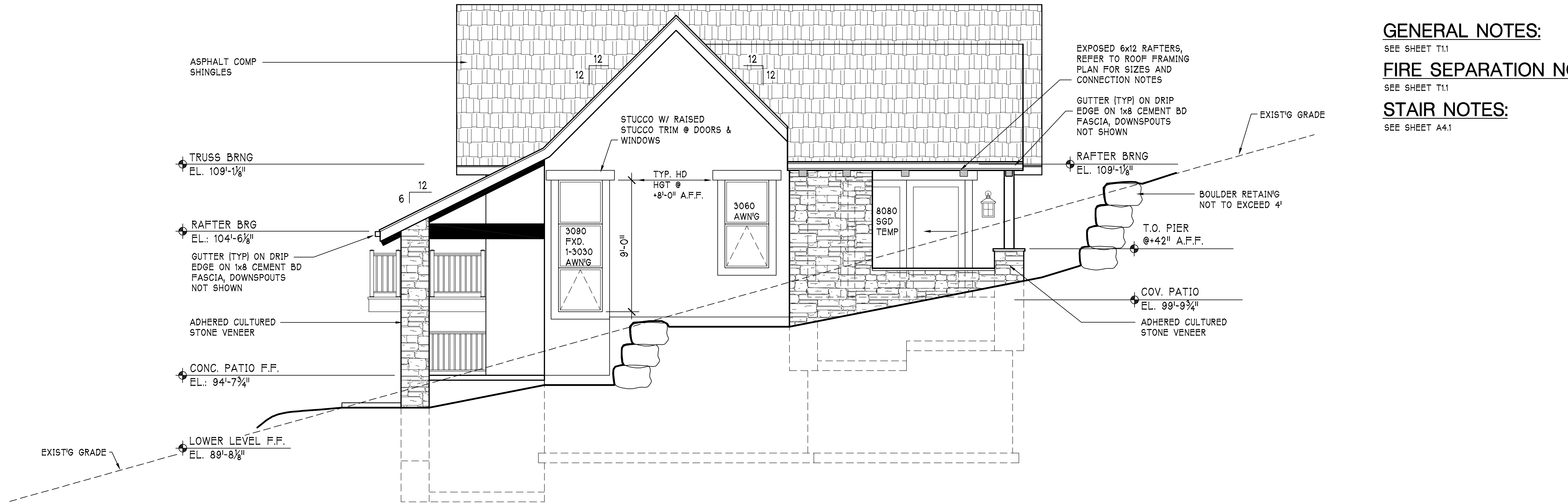
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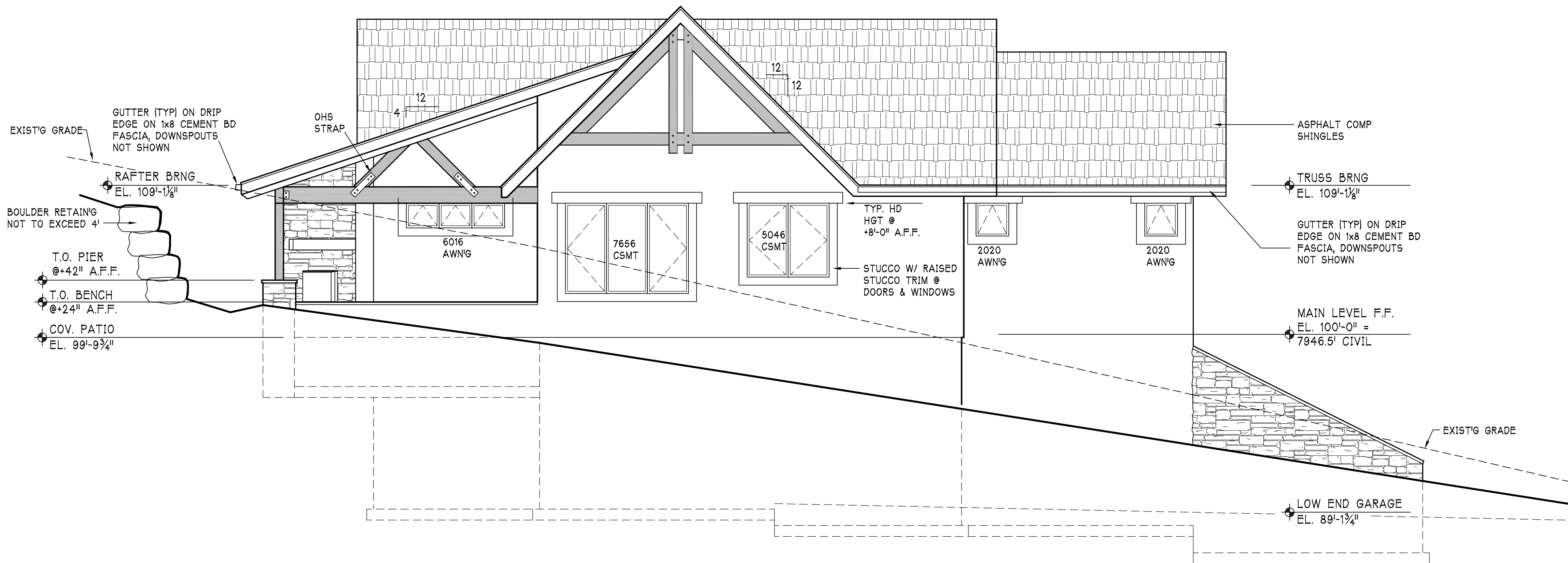
Paramount Homes Colorado
Mike Rice
13874 Crane Canyon Loop
Colorado Springs, CO
Tel: 719-331-4116
mike@paramounthomescolorado.com

DIXON RESIDENCE
11045 IONA AVENUE
GREEN MOUNTAIN FALLS, COLORADO
EL PASO COUNTY

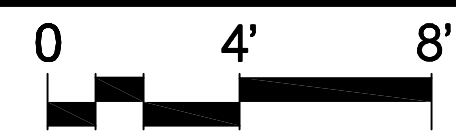
PRELIM:
RELEASE: 04.01.19
REV'D:
SHEET
A3.2
PROJECT #: 1838



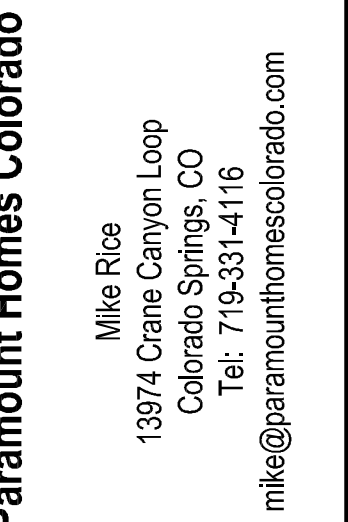
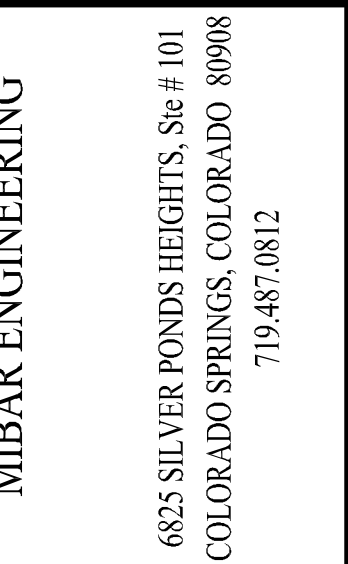
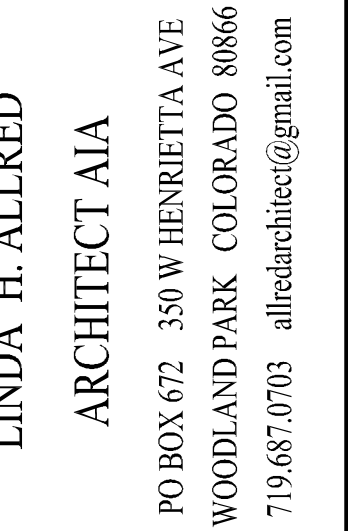
1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



BUILDING ELEVATIONS



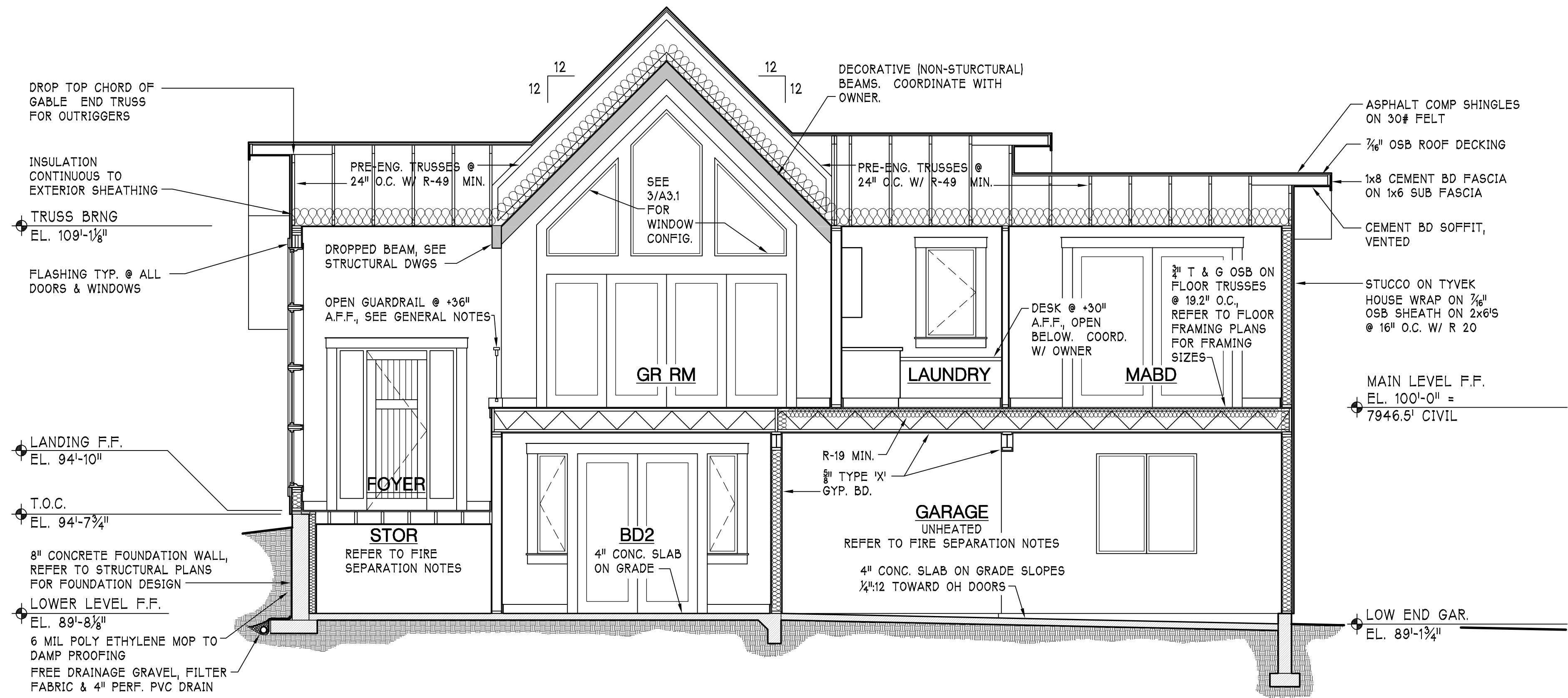
DIXON RESIDENCE
11045 IONA AVENUE
GREEN MOUNTAIN FALLS, COLORADO
EL PASO COUNTY

RELIM:
RELEASE: 04.01.19
EV'D:
SHEET
A4.1
PROJECT #: 1838

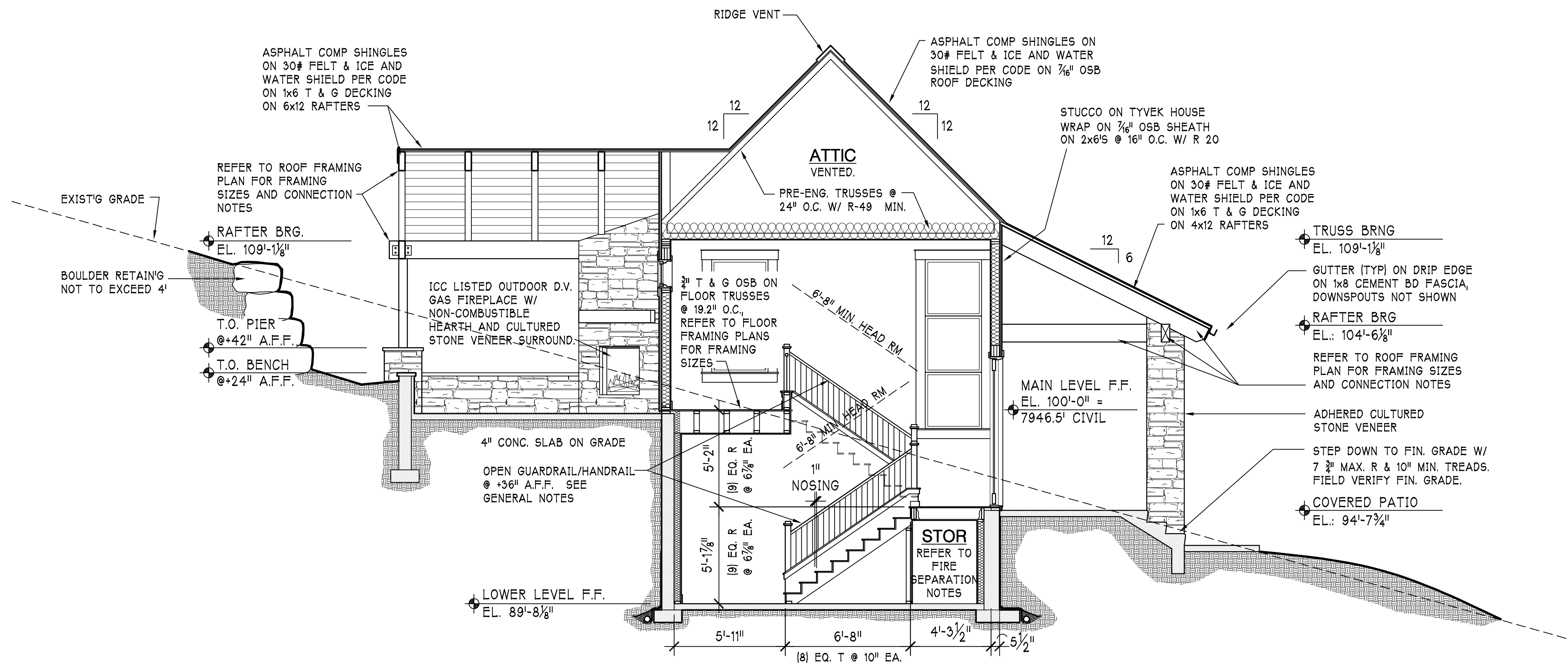
GENERAL NOTES:
SEE SHEET T1.1

FIRE SEPARATION NOTES:
SEE SHEET T1.1

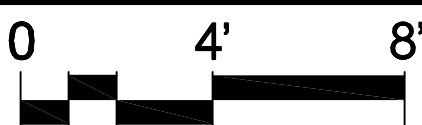
STAIR NOTES:
SEE SHEET A4.1



1 BUILDING SECTION



2 BUILDING SECTION



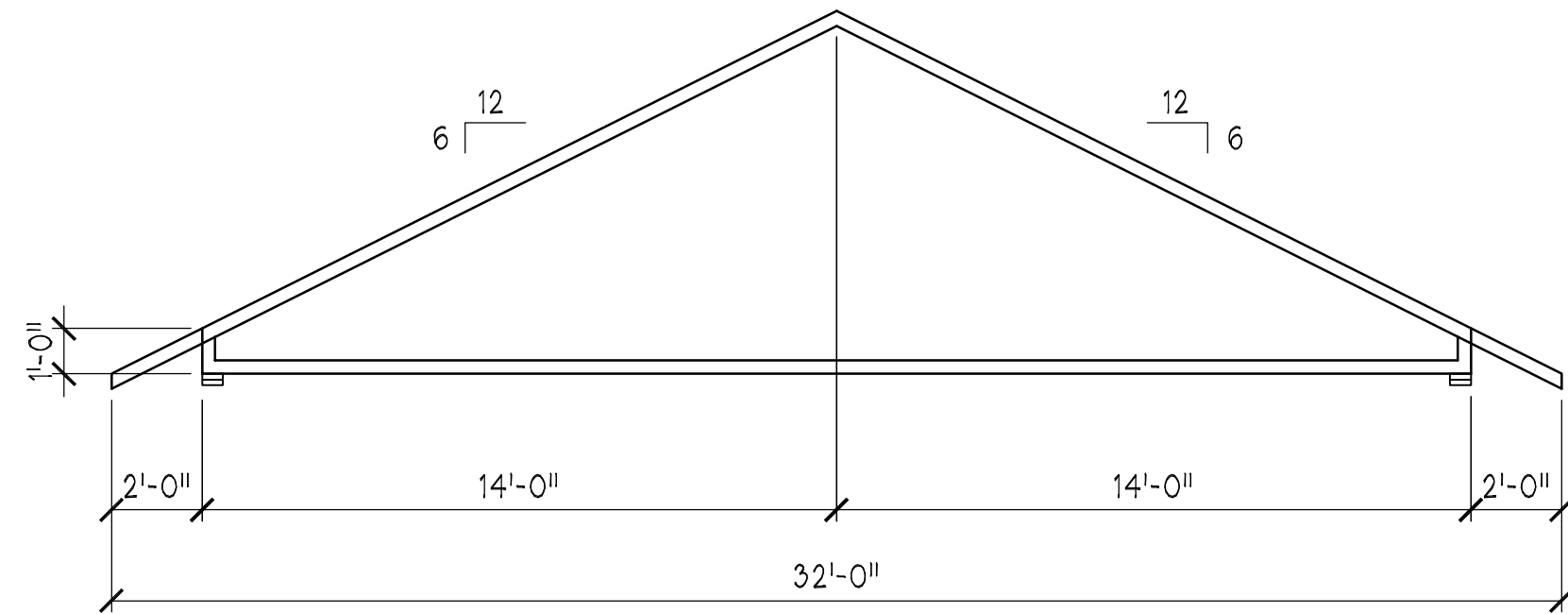
BUILDING SECTIONS

STAIR NOTES:

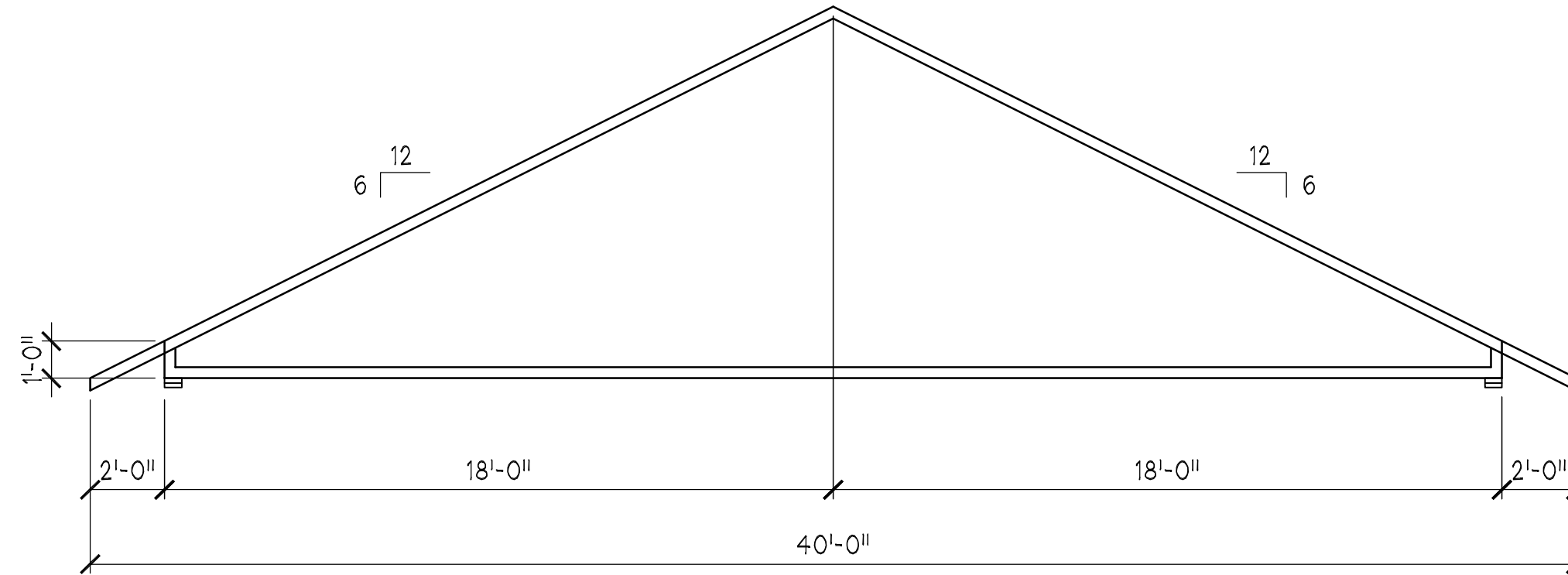
3. STAIR WIDTH = 3'-0" CLEAR MIN.
2. RISER HEIGHT = 7 3/4" MAX.
3. TREAD WIDTH = 10" MIN.
4. 1" NOSING TYP.
5. 6'-8" MIN. HEADROOM
6. HANDRAIL HEIGHT = 3'-0" ABOVE TREAD NOSING
7. HANDRAIL HANDGRIP CROSS SECTIONAL DIMENSION = 1 1/4" MIN. TO 2" MAX.
8. SPACE BETWEEN HANDRAIL AND WALL = 1 1/2" MIN.
9. HANDRAIL TO HAVE SMOOTH SURFACE AND NO SHARP CORNERS
10. STAIRWAYS MAY HAVE A HANDRAIL ON ONE SIDE ONLY.



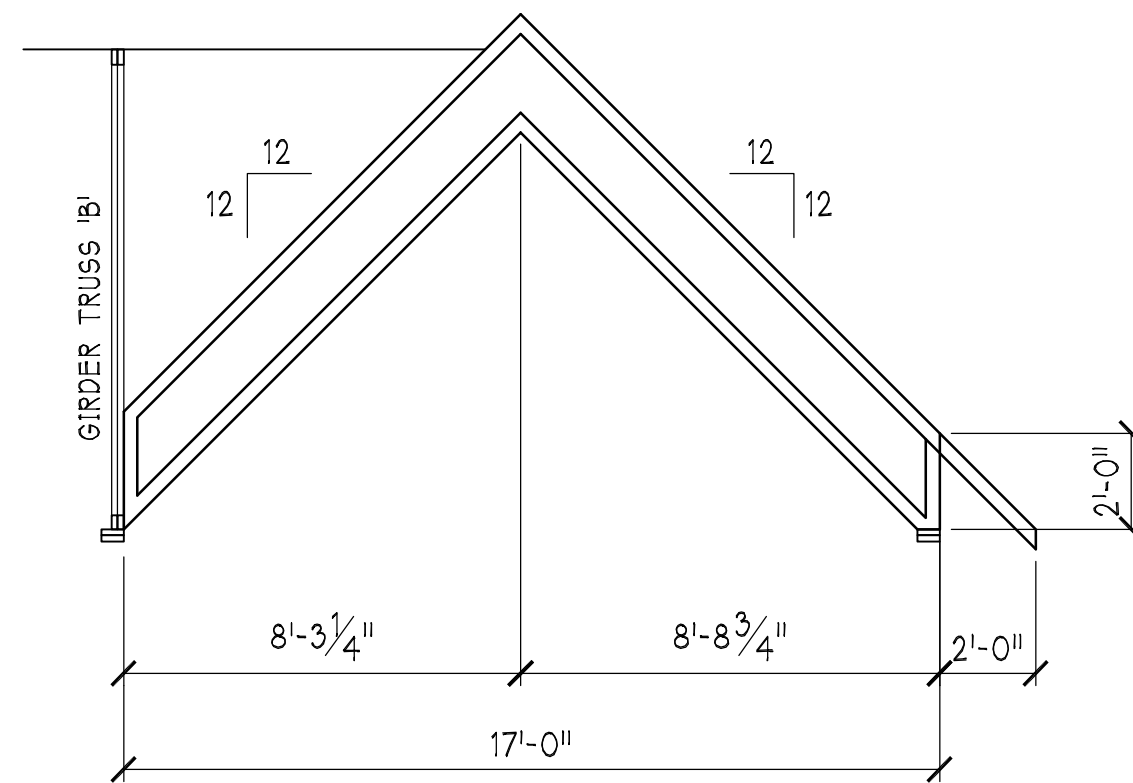
PROJECT #: 1838



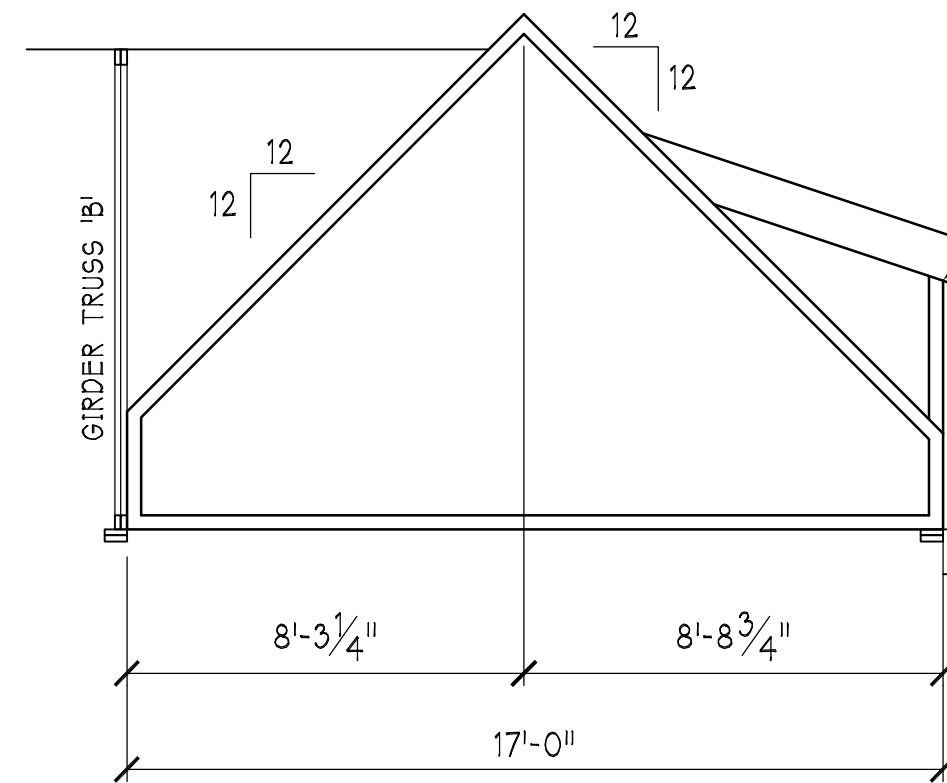
A TRUSS DIAGRAM
1/4" = 1'-0"



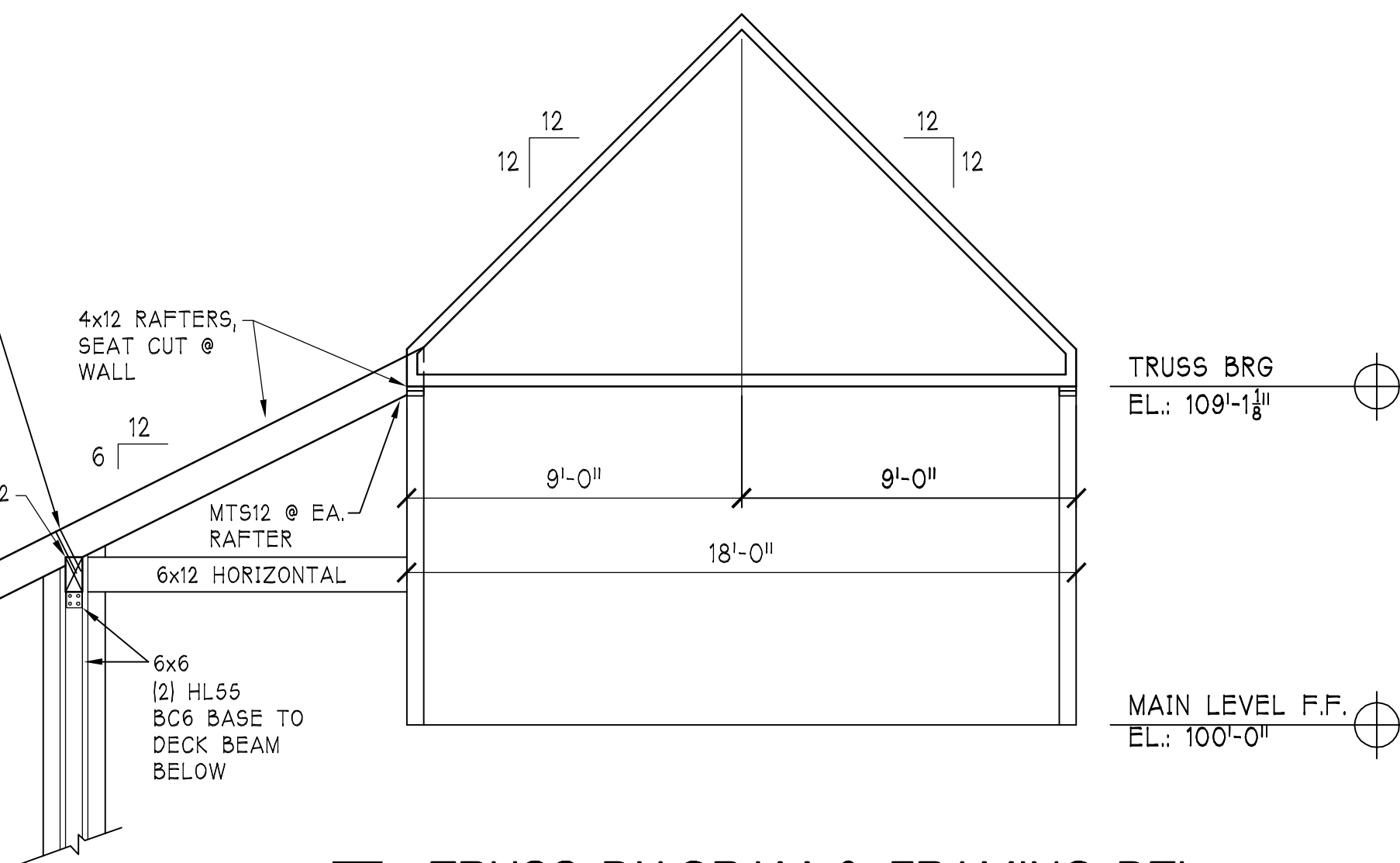
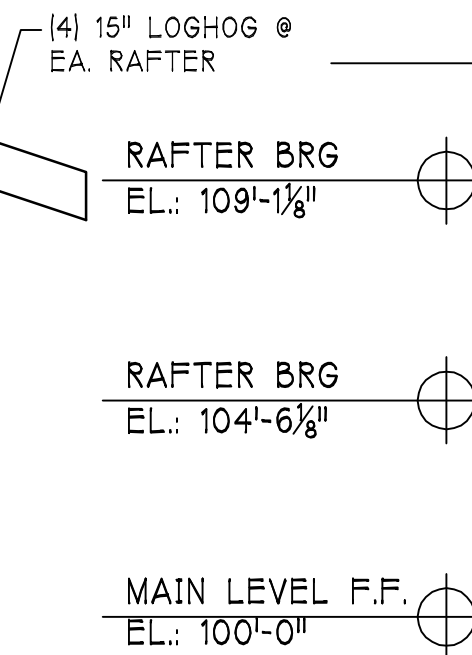
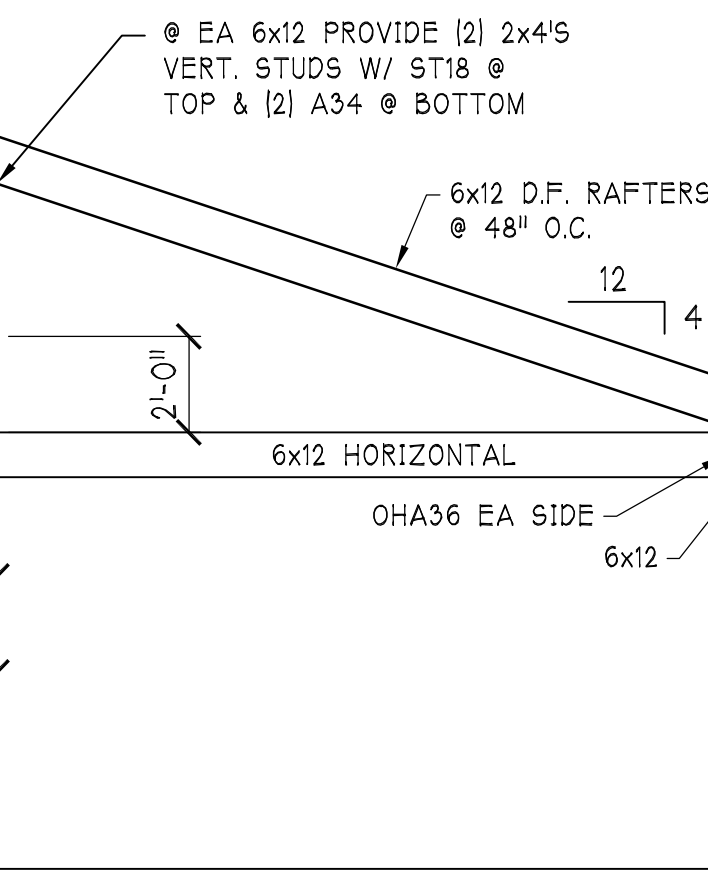
B TRUSS DIAGRAM
1/4" = 1'-0"



C TRUSS DIAGRAM
1/4" = 1'-0"



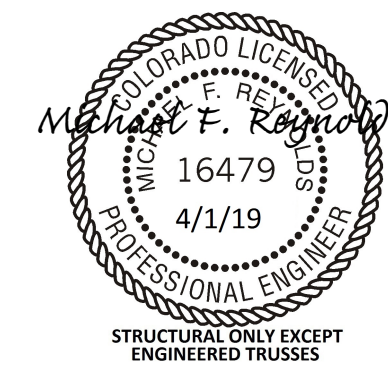
D TRUSS DIAGRAM & FRAMING DTL
1/4" = 1'-0"



E TRUSS DIAGRAM & FRAMING DTL
1/4" = 1'-0"

SCHEMATIC TRUSS NOTES:

1. THESE TRUSS DIAGRAMS ARE INFORMATION FOR THE TRUSS MANUFACTURER ONLY AND WILL NOT BE PART OF THE CONSTRUCTION DOCUMENTS.
2. TRUSS DIAGRAMS SHOW GENERAL SHAPES, SLOPES, AND DIMENSIONS. OVERHANGS MAY BE CLIPPED IN VARIOUS PLACES. DROPPED TOP CHORDS MAY OR MAY NOT BE SHOWN ON THESE DIAGRAMS.
3. TRUSS MANUFACTURER TO VERIFY COORDINATION AT TRUSS TO TRUSS CONNECTIONS AND DIMENSIONS.
4. THE TRUSS MANUFACTURER IS TO USE THEIR OWN TRUSS NUMBERING SYSTEM. ARCHITECT WILL THEN TRANSFER THEIR TRUSS NUMBERS TO THE ARCHITECT'S ROOF FRAMING PLAN.
5. ONCE TRUSS ENGINEERING IS OBTAINED, ARCHITECT WILL SHOW REQUIRED HOLD DOWN HARDWARE AND BEARING POST INFORMATION ON THE ROOF FRAMING PLAN.



TRUSS DIAGRAMS

LINDA H. ALLRED
ARCHITECT AIA

PO BOX 672 350 W HENRIETTA AVE
WOODLAND PARK COLORADO 80866
719.687.0703 allredarchitect@gmail.com

MIBAR ENGINEERING

6825 SILVER PONDS HEIGHTS Ste # 101
COLORADO SPRINGS, COLORADO 80908
719.487.0812

Paramount Homes Colorado

Mike Rice
13974 Crane Canyon Loop
Colorado Springs, CO
Tel: 719-331-4116
mike@paramouthomescolorado.com

DIXON RESIDENCE

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EL PASO COUNTY

PRELIM:

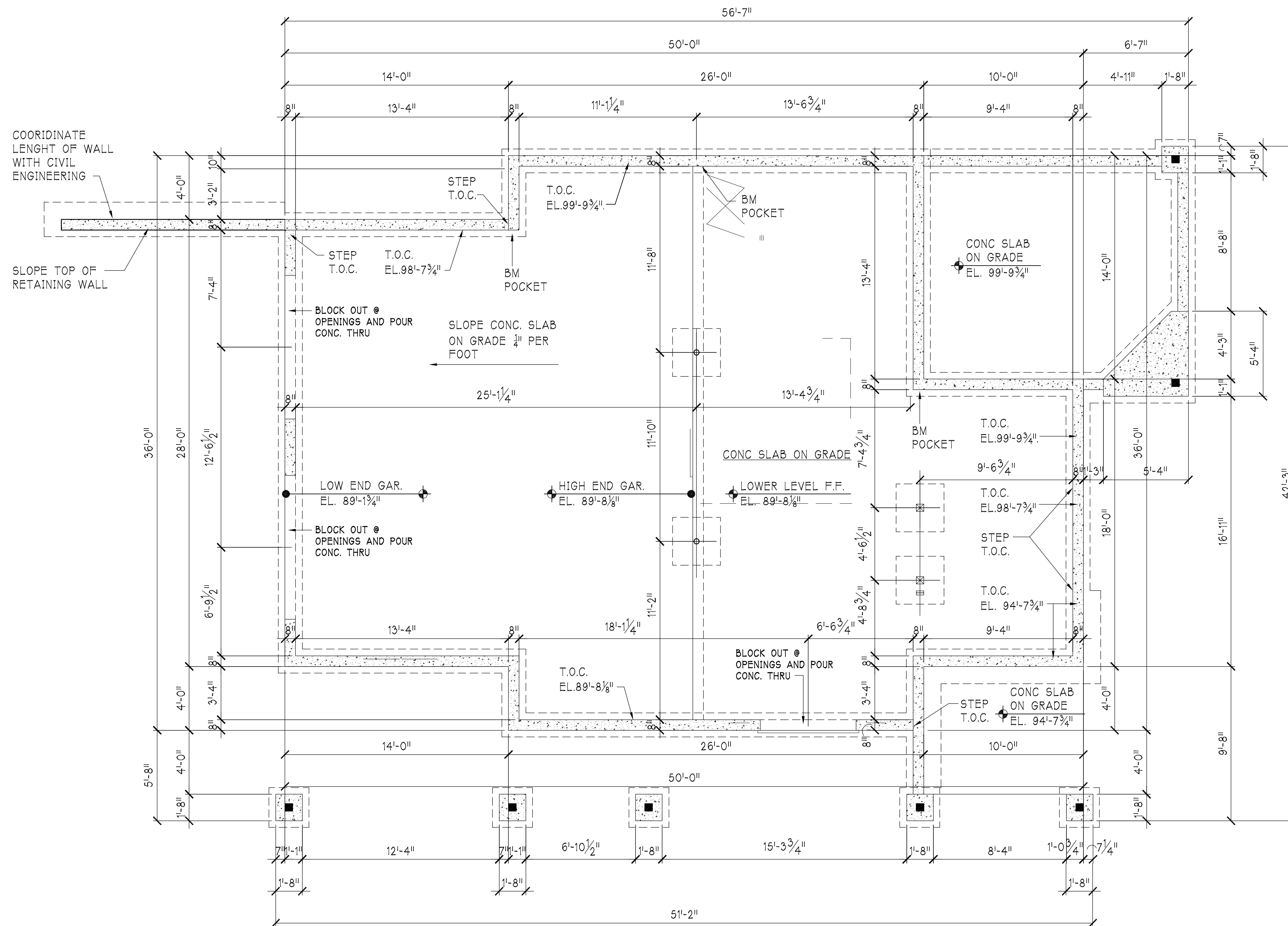
RELEASE: 04.01.19

REV'D:

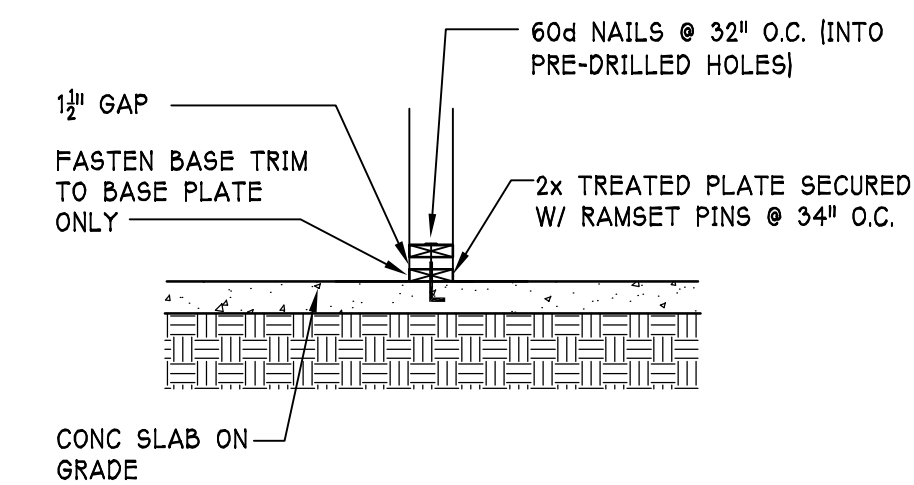
SHEET

S2.3

PROJECT #: 1838



2 FLOAT WALL DETAIL
1/2" = 1'-0"



1 FOUNDATION LAYOUT
1/4" = 1'-0"

FOUNDATION NOTE:
SOILS REPORT AND FOUNDATION
DESIGN BY LICENSED COLORADO
ENGINEER SHALL BE ON HAND
AT TIME OF FIRST INSPECTION



FOUNDATION LAYOUT



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EL PASO COUNTY

PRELIM:
RELEASE: 04.01.19
REV'D:

SHEET
S1.1

PROJECT #: 1838



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT/LAND OWNER: Todd G. and Nancy S. Dixon

MAILING ADDRESS: 1459 Washburn St.
Erie, CO 80516-6980

PHONE NUMBER: (303) 918-9443 EMAIL ADDRESS: mike@paramounthomescolorado.com
SITE ADDRESS OR ASSESSOR PARCEL NUMBER: 11045 Iona Avenue, Lots 12-15 inclusive, Block 27, 3rd
Addition, Green Mountain Falls, El Paso County

DATE WORK IS TO BE STARTED: 5/1/2019 COMPLETED: 5/15/2019

BRIEF PROJECT DESCRIPTION: Single family dwelling

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required.

Michael S. Rice President, Paramount Homes
SIGNATURE TITLE
DATE 4/8/2019

*Reference [Sections 16-705, 707, and 715, Sections 17-81, 85, 100](#) of Green Mountain Falls Municipal Code
Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls

For office use:

Fee Amount: 125.00 Date Collected: (due 10 days before PC meeting) 4.8.19
Payment Type: Municipal
Independent Engineering Review Date (if applicable) : _____
Planning Commission Action/Date (attach minutes) : _____
BOT Approval Date: NA



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819 (719) 684-9414 www.gmfco.us

2019 APPLICATION – EROSION CONTROL PLAN REVIEW/GRADING PERMIT

*payment is due 10 days before work begins

*Must be accompanied by statement of financial responsibility and ownership

APPLICANT: Todd G. and Nancy S. Dixon

MAILING ADDRESS: 1459 Washburn St.
Erie, CO 80516-6980

PHONE NUMBER: (303) 918-9443

LOCATION OF EXCAVATION SITE: 11045 Iona Avenue - Block 27, 3rd Addition, Green Mountain Falls, El Paso County

DATE WORK IS TO BE STARTED: 5/1/2019 COMPLETED: 5/15/2019

WILL THIS WORK INCLUDE ROAD BUILDING - TEMPORARY OR PERMANENT: YES__ NO X

LAND DISTURBANCE AREA IN SQUARE FEET AND CUBIC YARDS: 9,786 square feet/ 544 cubic yards

BRIEF PROJECT DESCRIPTION: Single family residence

[Signature] President
SIGNATURE TITLE

DATE 4/8/2019

*Reference Section 17-92 and 17-85(e) of Green Mountain Falls Municipal Code

Fee can be found in the current year fee schedule on our website under Forms

For office use:

Fee Amount: 125.00 Date Collected: (due 10 days before project start date) 4.8.19

Payment Type: municipal

Independent Engineering Review Date (if applicable) : _____

Planning Commission Action/Date (attach minutes) : _____

BOT Approval Date: NA

TRANSACTION SUMMARY

TRANSACTION TYPE: SALE

PAYMENT ITEM	REFERENCE NUMBER	AMOUNT
NPS Convenience Fee		\$6.63
Permit Fees		\$250.00
TOTAL:		\$256.63

TOWN OF GREEN MOUNTAIN FALLS, CO - GENERAL FUND
10615 Green Mountain Falls Road
Green Mountain Falls,CO 80819
719-684-9414

Michael Rice	
Transaction Number:	4998898
Date Processed:	04/08/2019 14:04:54 MDT
Transaction Type:	Credit Card
VISA - Key Entered	CardNumber: *****4170
Authorization:	03635G
Reference Number:	00204809
Permit Fees	\$250.00
Total:	\$250.00

I agree to pay above total amount according to the card issuer agreement.

Signature: _____

Thank You
MUNICIPALITY SERVICE FEE - TOWN OF GREEN MOUNTAIN FALLS, CO
511 Congress Street, Suite 503
Portland,ME 04101
(877) 590-5097

Michael Rice	
Transaction Number:	4998898
Date Processed:	04/08/2019 14:04:54 MDT
Transaction Type:	Credit Card
VISA - Key Entered	CardNumber: *****4170
Authorization:	03639G
Reference Number:	00204810
Convenience Fee	\$6.63
Total:	\$6.63

I agree to pay above total amount according to the card issuer agreement & understand this non-refundable convenience fee will be charged to allow my payment via credit card.

Signature: _____

Thank You
Printed: 04/08/2019 16:04:58

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH GREEN MOUNTAIN FALLS PLANNING AND INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER TOWN OF GREEN MOUNTAIN FALLS STANDARDS.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY TOWN OF GREEN MOUNTAIN FALLS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

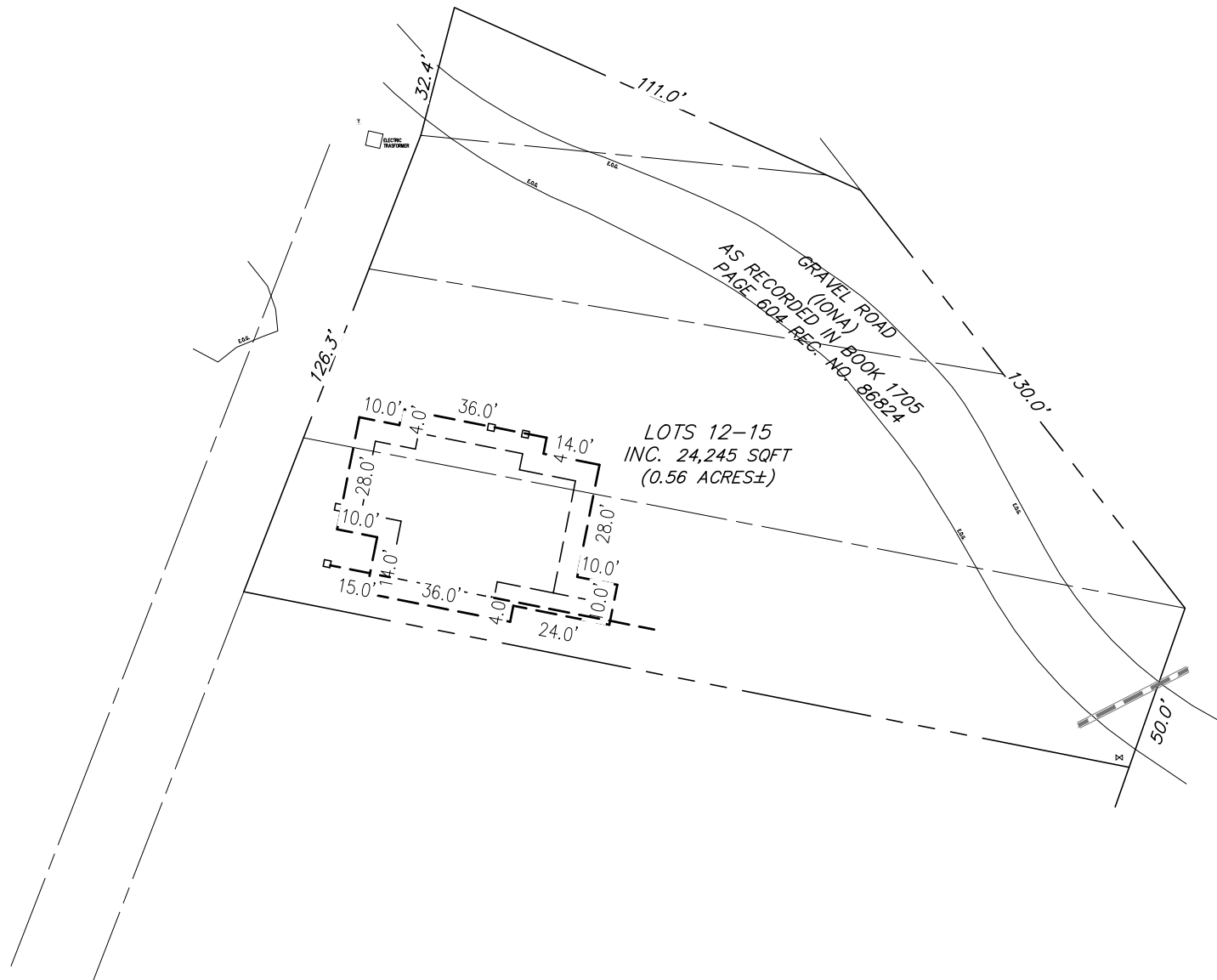
GRADING NOTES:

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM TOWN OF GREEN MOUNTAIN FALLS PLANNING AND A PRECONSTRUCTION CONFERENCE IS HELD WITH INSPECTIONS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- ONCE THE PERMIT HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND GREEN MOUNTAIN FALLS INSPECTIONS WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH GREEN MOUNTAIN FALLS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY GREEN MOUNTAIN FALLS INSPECTIONS IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY _____ AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- CUT AND FILL SLOPES EXCEEDING 3:1 ARE DEPICTED ON THE PLANSET. USE OF SLOPES EXCEEDING 3:1 ARE TO BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO BEGINNING OF CONSTRUCTION. ADDITIONAL SLOPE PROTECTIONS INDICATED IN THE PROJECT GEOTECHNICAL REPORT SHALL BE IMPLEMENTED BY THE CONTRACTOR.

DIXON RESIDENCE

GRADING & EROSION CONTROL PLAN

GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO



SITE MAP
SCALE: N.T.S.

PROJECT CONTACTS

ENGINEER: CATAMOUNT ENGINEERING
321 HENRIETTA AVENUE, SUITE A
WOODLAND PARK, CO 80866
DAVID MIJARES, PE
(719) 426-2124

OWNER: TODD G. & NANCY S. DIXON
1459 WASHBURN ST.
ERIE, CO 80516-6980

TOWN: TOWN HALL OFFICE
10615 UNIT B GREEN MOUNTAIN FALLS RD.
GREEN MOUNTAIN FALLS, CO 80819
(719) 684-9414

PROJECT ADDRESS:

IONA AVENUE
GREEN MOUNTAIN FALLS, CO

LEGAL DESCRIPTION:

LOTS 12 TO 15 INCLUSIVE, IN BLOCK 27 IN THE THIRD ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR ROAD CONVEYED TO TOWN OF GREEN MOUNTAIN FALLS BY DEED RECORDED IN BOOK 1705 AT PAGE 604 UNDER RECEPTION NUMBER 86824 OF THE RECORDS OF EL PASO COUNTY, COLORADO; AND FURTHER EXCEPTING THAT PORTION OF LOTS 12, 13 AND 14, DESCRIBED IN DEED TO WILLIAM STALAY BAGWELL, JR. AND MARY T. BAGWELL RECORDED IN BOOK 1977 AT PAGE 990 UNDER RECEPTION NUMBER 309396 OF SAID COUNTY RECORDS.

BENCHMARK:

PROJECT BENCHMARK: ALL ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM

IMPERVIOUS AREA:

LOT SIZE = 24,245 SF
DISTURBED AREA = 9,786 SF
PROPOSED BLDG FOOTPRINT = 1,508 SF
PROPOSED DRIVEWAY AREA = 2,528 SF
EXISTING PERCENT IMPERVIOUS = 0.0% IMPERVIOUS
PROPOSED PERCENT IMPERVIOUS = 16.6% IMPERVIOUS

GREEN MOUNTAIN FALLS APPROVAL:



SHEET INDEX:

COVER SHEET
SITE PLAN
EROSION CONTROL DETAILS

1 OF 3
2 OF 3
3 OF 3

REV.	DESCRIPTION	DATE



BASIS OF BEARINGS

BENCHMARK

SURVEY CONTROL POINT AS SHOWN HEREON.
ALL ELEVATIONS ARE BASED UPON NAVD88 VERTICAL DATUM.

PREPARED FOR:
TODD G. & NANCY S. DIXON

1459 WASHBURN ST
ERIE, CO 80516-6980

PREPARED FOR: SUPERVISOR FOR AND BEHALF OF CATAMOUNT ENGINEERING.

DAVID L. MIJARES/EL PASO PE #40510

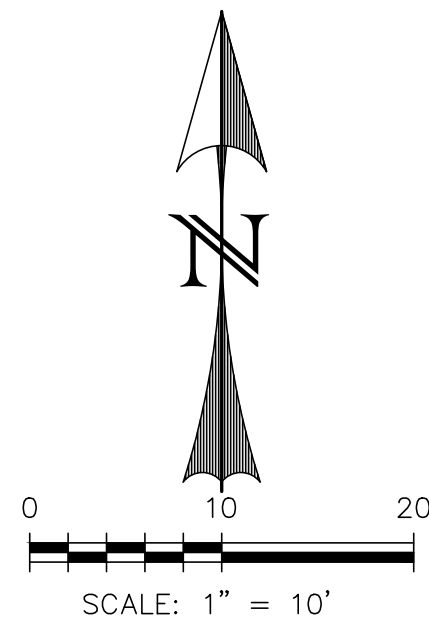
04/04/19
DATE



DIXON RESIDENCE

GRADING & EROSION CONTROL PLAN

DESIGNED BY:	DLM	DRAWN BY:	DBM
SCALE:	N/A	DATE:	04/02/19
JOB NUMBER	19-195	SHEET	1 OF 3



LEGEND

EXISTING	(E)
PROPOSED	(P)
FUTURE	(F)
CURB AND GUTTER	C&G
EASEMENT	ESMT
BOUNDARY	
RIGHT-OF-WAY	
LOT LINE	
EASEMENT	
SETBACK	
(E) CONTOUR, INDEX	
(E) CONTOUR	
(E) STORM SEWER, INLET, MH	
(E) LANDSCAPE PLANT	
(P) CONTOUR, INDEX	
(P) CONTOUR	
(P) STORM SEWER, INLET, MH	
CURB TYPE CALL-OUT	

NOTE:

- THE LOCATION OF SOIL STOCKPILE(S), STAGING AREA, AND TEMPORARY DISPOSAL AREA SHALL BE DETERMINED BY THE CONTRACTOR. APPROPRIATE EROSION CONTROL BMP MEASURES SHALL BE FOLLOWED FOR EACH.

REV.	DESCRIPTION	DATE



PREPARED FOR:
TODD G. & NANCY S. DIXON
1459 WASHBURN ST
ERIE, CO 80516-6980

PREPARED BY: **DAVID L. MESSING**
PROFESSIONAL ENGINEER
NO. 40510
DATE: 04/04/19



DIXON RESIDENCE
SITE GRADING PLAN

DESIGNED BY: DLM	DRAWN BY: DBM
SCALE: N/A	DATE: 04/02/19
JOB NUMBER: 19-195	SHEET: 2 OF 3

96122088

96 SEP 25 PM 2: 14

ARDIS W. SCHMITT
EL PASO COUNTY CLERK & RECORDER5
-1-

WARRANTY DEED

STATE DOCUMENTARY

KNOW ALL MEN BY THESE PRESENTS, That

SEP 25 1996

STEPHEN A. RUNYARD

FEE

250

of the County of El Paso and State of Colorado, for the consideration of One Dollar and other good and valuable considerations, in hand paid, hereby sell and convey to

TODD G. DIXON AND NANCY S. DIXON

in Joint Tenancy, of the County of El Paso and State of Colorado
whose legal address is 714 N. Main, Kingman, KS 67068
the following Real Property situate in the County of El Paso and State of Colorado, (Assessor's Schedule Number 83082-14-030) to wit:

LOTS 12 TO 15 INCLUSIVE, IN BLOCK 27 IN THE THIRD ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR ROAD CONVEYED TO TOWN OF GREEN MOUNTAIN FALLS BY DEED RECORDED IN BOOK 1705 AT PAGE 604 UNDER RECEPTION NUMBER 86824 OF THE RECORDS OF EL PASO COUNTY, COLORADO; AND FURTHER EXCEPTING THAT PORTION OF LOTS 12, 13 AND 14, DESCRIBED IN DEED TO WILLIAM STALAY GWELL, JR. AND MARY T. BAGWELL RECORDED IN BOOK 1977 AT PAGE 990 UNDER RECEPTION NUMBER 309396 OF SAID COUNTY RECORDS.

with all its appurtenances and warrant(s) the title to the same, subject to

covenants, easements, reservations, restrictions and rights of way of record, if any, taxes for the current year and subsequent years.

Signed and Delivered this 20th day of September, 1996.


Stephen A. Runyard

of the County of El Paso and State of Colorado, for the consideration of One Dollar and other good and valuable considerations, in hand paid, hereby sell and convey to

TODD G. DIXON AND NANCY S. DIXON

in Joint Tenancy, of the County of El Paso and State of Colorado
whose legal address is 714 N. Main, Kingman, KS 67068
the following Real Property situate in the County of El Paso and State of Colorado, (Assessor's Schedule Number 83082-14-030) to wit:

LOTS 12 TO 15 INCLUSIVE, IN BLOCK 27 IN THE THIRD ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR ROAD CONVEYED TO TOWN OF GREEN MOUNTAIN FALLS BY DEED RECORDED IN BOOK 1705 AT PAGE 604 UNDER RECEPTION NUMBER 86824 OF THE RECORDS OF EL PASO COUNTY, COLORADO; AND FURTHER EXCEPTING THAT PORTION OF LOTS 12, 13 AND 14, DESCRIBED IN DEED TO WILLIAM STALAY BAGWELL, JR. AND MARY T. BAGWELL RECORDED IN BOOK 1977 AT PAGE 990 UNDER RECEPTION NUMBER 309396 OF SAID COUNTY RECORDS.

with all its appurtenances and warrant(s) the title to the same, subject to

covenants, easements, reservations, restrictions and rights of way of record, if any, taxes for the current year and subsequent years.

Signed and Delivered this 20th day of September, 1996.

Stephen A. Runyard

STATE OF Colorado)
County of El Paso) SS:

The foregoing instrument was acknowledged before me this 20th day of September, 1996, by Stephen A. Runyard

Witness my hand and seal.

My Commission expires: 2/24/99



CORRECTED
DEED AND AGREEMENT OF EASEMENT

Stephen A. Runyard, of El Paso County, Colorado (hereinafter referred to as the "Grantor"), is the owner of the real property described as follows:

The northerly thirty-four (34) feet on Lot 31, and lots 32 to 34 inclusive, in Block 27 in the third addition to Green Mountain Falls, El Paso County, Colorado, excepting therefrom the right-of-way for road conveyed to Town of Green Mountain Falls by deed recorded in Book 1705 at page 604 under reception number 86824 of the records of El Paso county, Colorado; and further excepting that portion of lots 31, 32, 33 and 34 described in deed to William Stalay Bagwell, Jr. and Mary T. Bagwell recorded in book 1977 at page 990 under reception number 309396 of said county records.

(Hereinafter referred to as the "Servient Property")

Todd G. Dixon and Nancy S. Dixon, of KINGMAN County, KANSAS (hereinafter referred to as the "Grantee"), is the owner of the real property described as follows:

Lots 12 to 15 inclusive, in Block 27 in the third addition to Green Mountain Falls, El Paso County, Colorado, excepting therefrom the right-of-way for road conveyed to Town of Green Mountain Falls by deed recorded in Book 1705 at page 604 under reception number 86824 of the records of El Paso county, Colorado; and further excepting that portion of lots 12, 13 and 14 described in deed to William Stalay Bagwell, Jr. and Mary T. Bagwell recorded in book 1977 at page 990 under reception number 309396 of said county records.

(Hereinafter referred to as the "Dominant Property")

In exchange for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Grantor hereby grants, sells, and conveys to the Grantees the following:

An easement for the use of a portion of the Servient Property which is currently a roadway as depicted in the attached Exhibit "I" for use as a roadway and for purposes of installing, maintaining and housing underground utilities running to the Dominant Property. This property is the same property referred to in the right-of-way for road conveyed to the town of Green Mountain Falls by deed recorded in

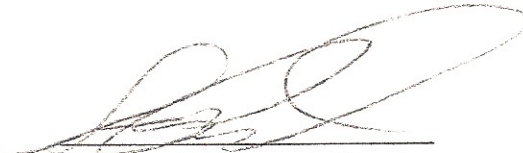
Book 1705 at page 604 under reception number 86824 of the records
of El Paso county, Colorado.

The above described easement shall remain indefinitely.

This easement shall be binding upon and shall inure to the benefit and burden of the Grantor,
the Grantees, and their successors, assigns, and any other person or entity that at any time hereafter
shall become the owner of the Servient or Dominant Property.

The Grantees hereby covenant and agree as follows: The Grantees shall indemnify and hold
the Grantor harmless from and against any and all loss and damage that shall be caused by the
exercise of the rights of ingress and egress inherent in this grant of easement, or resulting from any
other use of this grant of easement, or by any wrongful or negligent act of Grantees, their licensee
or their agent in any way relating to this grant of easement.

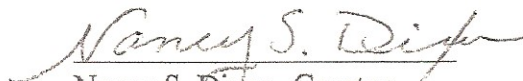
IN WITNESS WHEREOF the Grantor and the Grantees have executed this Deed and
Agreement of Easement.



Stephen A. Runyard, Grantor



Todd G. Dixon, Grantee



Nancy S. Dixon, Grantee

STATE OF COLORADO)
) ss.
COUNTY OF EL PASO)

Subscribed and sworn to before me this 17 day of August, 1998, by Stephen A. Runyard.

My Commission Expires: 12/13/2001

Chris Francisco
Notary Public

STATE OF Kansas)
) ss.
COUNTY OF Kingman)

Subscribed and sworn to before me this 29th day of August, 1998, by Todd G. Dixon.

My Commission Expires: 3/11/2002

Reggie L. Herbert
Notary Public

STATE OF Kansas)
) ss.
COUNTY OF Kingman)

Subscribed and sworn to before me this 29th day of August, 1998, by Nancy S. Dixon.

My Commission Expires: 3/11/2002

Reggie L. Herbert
Notary Public

3/11/2002



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT/LAND OWNER: Larry Nienhueser

MAILING ADDRESS: P.O. Box 174
Green Mountain Falls, CO.

PHONE NUMBER: 970-209-9835 EMAIL ADDRESS: 9942LLN@gmail.com

SITE ADDRESS OR ASSESSOR PARCEL NUMBER: 10971 Iona Ave. GMF

DATE WORK IS TO BE STARTED: 11.20.18 COMPLETED: 11.21.18

BRIEF PROJECT DESCRIPTION: 20 x 16 metal carport

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required.

SIGNATURE [Signature] TITLE OWNER
DATE 5-6-19

*Reference Sections 16-705, 707, and 715, Sections 17-81, 85, 100 of Green Mountain Falls Municipal Code
Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls

For office use:

Fee Amount: 125⁰⁰ Date Collected: (due 10 days before PC meeting) 7 May 2019
Payment Type: check # 1638
Independent Engineering Review Date (if applicable): N/A
Planning Commission Action/Date (attach minutes)
BOT Approval Date: N/A

* ↑
VERTICAL
PROP OF
2'-0"

JOINING PROPERTY
CONCRETE WALL

SURVEY
PIN FOUND

3'-8"

4'-8"

THE 3'-8" & 4'-8"
DISTANCES ARE
THOSE BOUNDARIES
BEING QUESTIONED
BY THE NEIGHBOR.

CARPORT

DATE 5-6-19

14'-0"

X SURVEY
PIN

LARRY NIENHUESER
10971 IONA AVE.
GREEN MOUNTAIN FALLS, CO

Coast To Coast Carports, Inc.

Location Address: P. O. Box 100

Knoxville, Arkansas 72845
Business (208) 436-3157 Fax (208)-436-3581

Toll Free 1-866-597-5758

Invoice Number: 921195- 0



Original

12

Dealer: Betty Beedy

Dealer Phone: 719-347-2116

Date: 8/25/2018

Customer Name: Larry Nienhueser

Address: 10971 Iona Avenue

Ph: 970-209-9835 Ext. (Day)

County: El Paso
Green Mountain Falls CO 80819

(Evening) (Other)

Description:			
Options:	20x16x7 Aframe	12 G	2,845.00
	7' Legs/Vertical Roof	Certified	60.00
	1)Gable End:Rawhide		175.00
	2)Sides Closed:Rawhide		440.00
	1)End Closed:Rawhide		875.00
	65# PSF & 105 MPH/4)M.H.Anchors		0.00
	Declined Options/Admin Fee		5.00
Color Top:	Evergreen		
Color Trim:	Earth Brown		

ALL ORDERS C.O.D.
Price: \$4,400.00
Tax: \$357.31
Total: \$4,757.31
D.P.: \$506.40
PRBI: 0.00
Discount: \$0.00
Amount Paid: 0.00
Bal Due: \$4,250.91
Payment Form:
☐ Personal Check

TOTAL AMOUNT DUE AT INSTALLATION: \$4,250.91

DIRECTIONS

T/L on Boca Raton Heights-T/R n Rancho Colorado Boulevard-Take I25 North to Exit 141-Take Hwy 24 West-T/L on Green Mountain Falls Road-Continue to Ute Pass Avenue-T/R on Belvidere Avenue-T/L on Iona Avenue-Location on right

Land Level Yes Access to Electricity Yes Concrete No Ground Yes
Other:

**Land Must Be Level Or Carport Will Be Installed "As-Is"*

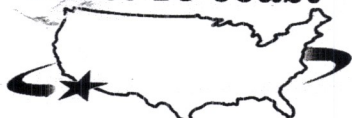
PLEASE INFORM CONTRACTORS OF ANY UNDERGROUND CABLES, GAS LINES, OR ANY OTHER UTILITY LINES, WE WILL NOT BE RESPONSIBLE FOR ANY DAMAGE.

CUSTOMER SIGNATURE _____
INSTALLER SIGNATURE _____
Date _____
☐ Satisfactory ☐ Non-Satisfactory
☐ Credit Card ☐ Money Order
☐ Cashier's Check ☐ Other

\$25.00 Service Charge For All Returned Checks

Coast To Coast Carports Are Not Responsible For Any Repairs Due to Inclement Weather

11.21.18 CK# 1541



Coast To Coast
Carports, Inc.

22525 Interstate 40 Knoxville, AR.

Remit to: P.O. BOX 100 Knoxville, AR. 72845

Business (479) 885-1258 Fax (877) 472-5097

Toll Free 1-866-267-3790

Dealer: Betty Beedy County: El Paso Phone: 719-347-2116 Date: 8/25/18
Buyer Name: Larry Nienhueser
Buyer Address: 10971 Iona Ave City: Green Mountain Falls State: CO Zip: 80819
Phone (Day) 970-209-9835 (Evening) Same (Cell) 970-209-9835
Unit Location (If different from above): 6516 Snow/wind

OPTIONS		CARPORT <input checked="" type="checkbox"/>	UTILITY CARPORT <input type="checkbox"/>	GARAGE <input type="checkbox"/>	RED BARN <input type="checkbox"/>	CERTIFIED <input checked="" type="checkbox"/>	NON-CERTIFIED <input type="checkbox"/>
REG. STYLE <input type="checkbox"/>	14 Ga. <input type="checkbox"/> 12 Ga. <input type="checkbox"/>	WIDTH	X LENGTH				
			X HEIGHT				
A-FRAME STYLE <input checked="" type="checkbox"/>	14 Ga. <input type="checkbox"/> 12 Ga. <input checked="" type="checkbox"/>	WIDTH <u>20'</u>	X LENGTH <u>16'</u>				
ROOF LENGTH <u>16'</u>		FRAME LENGTH <u>16'</u>	X HEIGHT <u>7'</u>				
			VERTICAL ROOF <input checked="" type="checkbox"/>				
COLOR	TOP: <u>Evergreen</u>	TRIM: <u>Earth Brown</u>					
GABLE ENDS	COLOR:	FRONT <input type="checkbox"/> BACK <input type="checkbox"/> BOTH <input type="checkbox"/>					
SIDES CLOSED	COLOR: <u>Rawhide</u>	ONE <input type="checkbox"/> BOTH <input checked="" type="checkbox"/>					
CLOSED ENDS	COLOR: <u>Rawhide</u>	ONE <input checked="" type="checkbox"/> BOTH <input type="checkbox"/>					
			VERTICAL ENDS <input type="checkbox"/>				
GARAGE DOORS	HOW MANY?:	SIZE:	OTHER:				
WINDOWS	HOW MANY?:						
WALK-IN DOORS	HOW MANY?:						
EXTRA PANELS	HOW MANY?:	SIZE:	COLOR:				
EXTRA BRACES	HOW MANY?:	SIZE:					
EXTRA FRAME BOWS	HOW MANY?:	SIZE:					
MOBILE HOME ANCHORS	HOW MANY?:	<u>Mobile Home Anchors Included</u>					
CONCRETE ANCHORS	HOW MANY?:						
ROLL-UP COMMERCIAL DOORS WITH CHAIN	HOW MANY?:	SIZE:					
EXTRAS	<u>12 gauge frame Upgrade</u>						
			TOTAL				
ELECTRICITY AVAILABLE YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>			INST. CEMENT <input type="checkbox"/>	GROUND <input checked="" type="checkbox"/>	OTHER <input type="checkbox"/>		

All Orders C.O.D.

Sale Price \$ 4220.00

Tax 8.13 \$ 343.09

Document Fee \$ 5.00

Total \$ 4568.09

10% Down Payment
Before Taxes \$ 506.40

NOTE: Orders will not be processed if the Dealer collects more 10% of sale price.

Balance Due At Installation \$ 4061.69

175
4236

Things you should know...

Please inform installers of any underground cables, gas lines, or any other utility lines. If utilities are not marked, we will not be liable for damage. We will not be responsible for permits or restrictions.

LOT MUST BE LEVEL OR UNIT WILL BE INSTALLED "AS IS" ON LOT

If land is not level or additions are to be made to carport, a \$100.00 service charge and any additional material costs will be added to the balance. COAST TO COAST CARPORTS, INC. WILL ABSOLUTELY NOT BE RESPONSIBLE FOR REFUNDS OF THE CUSTOMER'S DEPOSIT COLLECTED BY THE DEALER.

COAST TO COAST CARPORTS, INC. IS NOT LIABLE FOR ANY DAMAGES AS A RESULT FROM INCLEMENT WEATHER.

IF YOU ARE TAX EXEMPT, A TAX EXEMPT CERTIFICATE MUST BE ATTACHED TO YOUR ORIGINAL ORDER(S). OTHERWISE, APPLICABLE TAX WILL BE ADDED. NO EXCEPTIONS

Our ground anchors are temporary only. For permanent anchors ask your Dealer or Sales Representative. I have read the terms and conditions of this contract; by signing this contract, I agree to all conditions set forth herein and should I fail to make payment in full at time of delivery I understand and agree to allow COAST TO COAST CARPORTS, INC. to pick up the carport and I will be liable for all applicable charges and fees associated with the initial setup and delivery as well as any legal fees incurred by Coast to Coast Carports, Inc. Please keep original invoice for legal matters. COAST TO COAST CARPORTS, INC. RESERVES THE RIGHT TO CANCEL ANY ORDERS.

NOTE: Frame is 1 ft. shorter than roof length on horizontal metal. Vertical buildings have no overhang and are 1 ft. shorter than horizontal.

NOTE: If you are needing a special drawing for your building there will be an additional charge, that is NON-REFUNDABLE.

NOTE: Buyer is not allowed to alter unit in anyway, such as additions or repairs. Unit will remain property of Coast to Coast Carports, Inc. until balance is paid in full.

BUYER MUST INITIAL WARRANTY SELECTION

See Limited Warranty Explanations on Reverse Side

14 GAUGE - Workmanship Only ☒ 12 GAUGE - Workmanship & Rust-Through ☒ Certified ☒ Non-certified ☐

If accepted below by COAST TO COAST CARPORTS, INC. (Seller) at its office in Knoxville, AR. this order becomes a contract between Seller and the Buyer named below as follows: subject to the terms above and

SUBJECT TO THE TERMS AND CONDITIONS ON THE REVERSE SIDE
Seller and Buyer agree that the Seller will sell to Buyer the metal building (Unit) described above and install it at the address stated above and that Buyer will obtain all required permits, prepare the site for installation, purchase the Unit and pay the price as stated above.

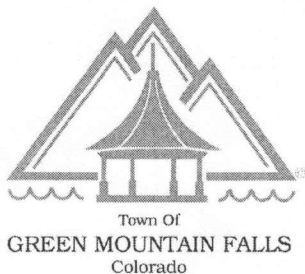
NO REFUNDS ON SPECIAL ORDERS

\$4250.91

BUYER [Signature] DATE 8-25-18

WITNESS
We Accept Visa, MasterCard, American Express & Discover
MasterCard VISA DISCOVER

ACCEPTED:
Coast to Coast Carports, Inc.



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT/LAND OWNER: JUDY MARIE PIAZZA

MAILING ADDRESS: PO Box 812
GREEN MTN. FALLS CO 80819

PHONE NUMBER: 720-982-8291 EMAIL ADDRESS: judyplazza@gmail.com

SITE ADDRESS OR ASSESSOR PARCEL NUMBER: 11160 BELVIDERE, GMF

DATE WORK IS TO BE STARTED: ASAP COMPLETED: AUGUST 2019

BRIEF PROJECT DESCRIPTION: KITCHEN REMODEL - NO FOOTPRINT
EXPANSION - EXTERNAL VIEW DOCS

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required.

SIGNATURE Judy M. Piazza TITLE OWNER
DATE 5/8/2019

*Reference Sections 16-705, 707, and 715, Sections 17-81, 85, 100 of Green Mountain Falls Municipal Code
Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls

For office use:

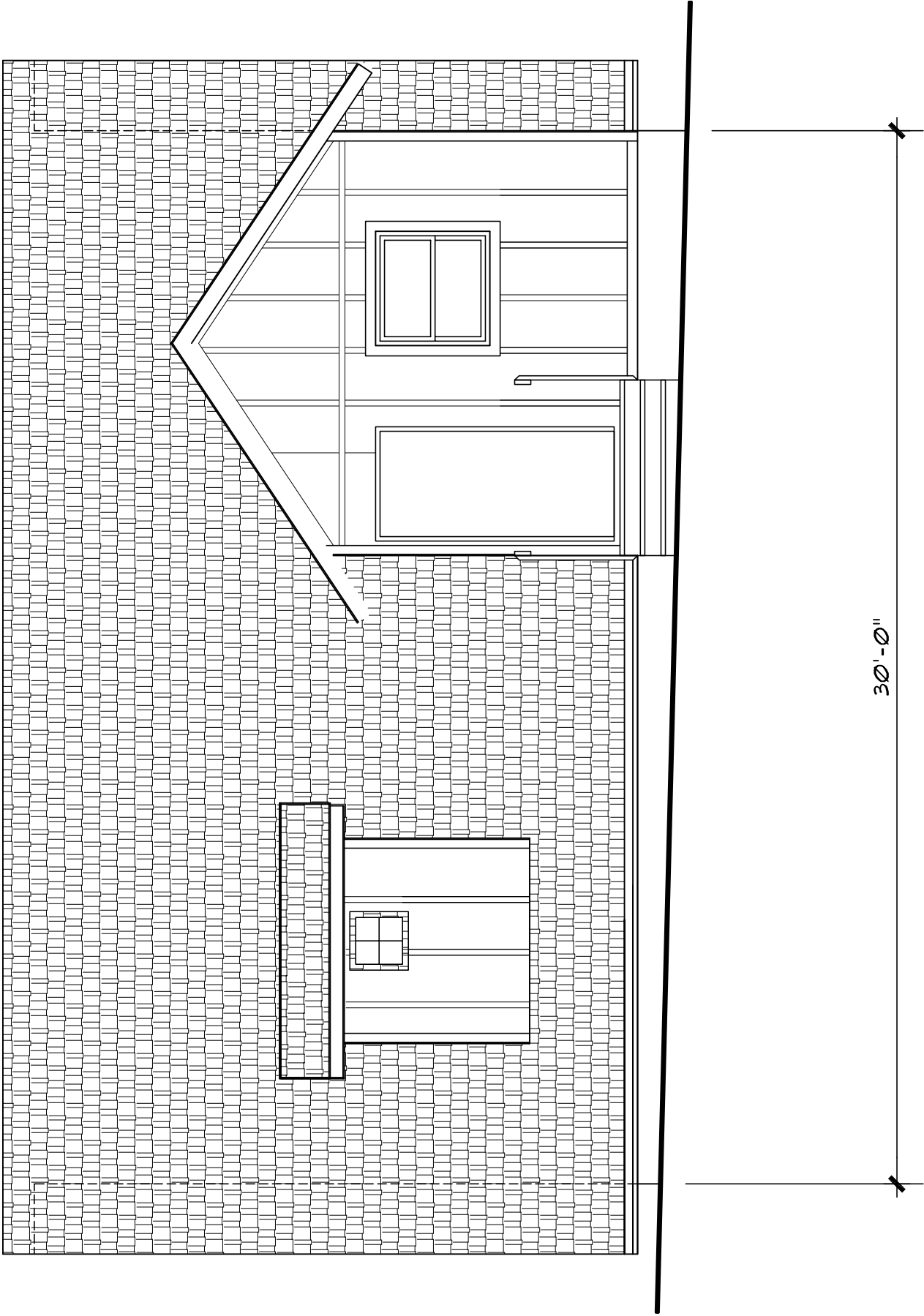
Fee Amount: 125 - Date Collected: (due 10 days before PC meeting) 8 May 19

Payment Type: check # 0145

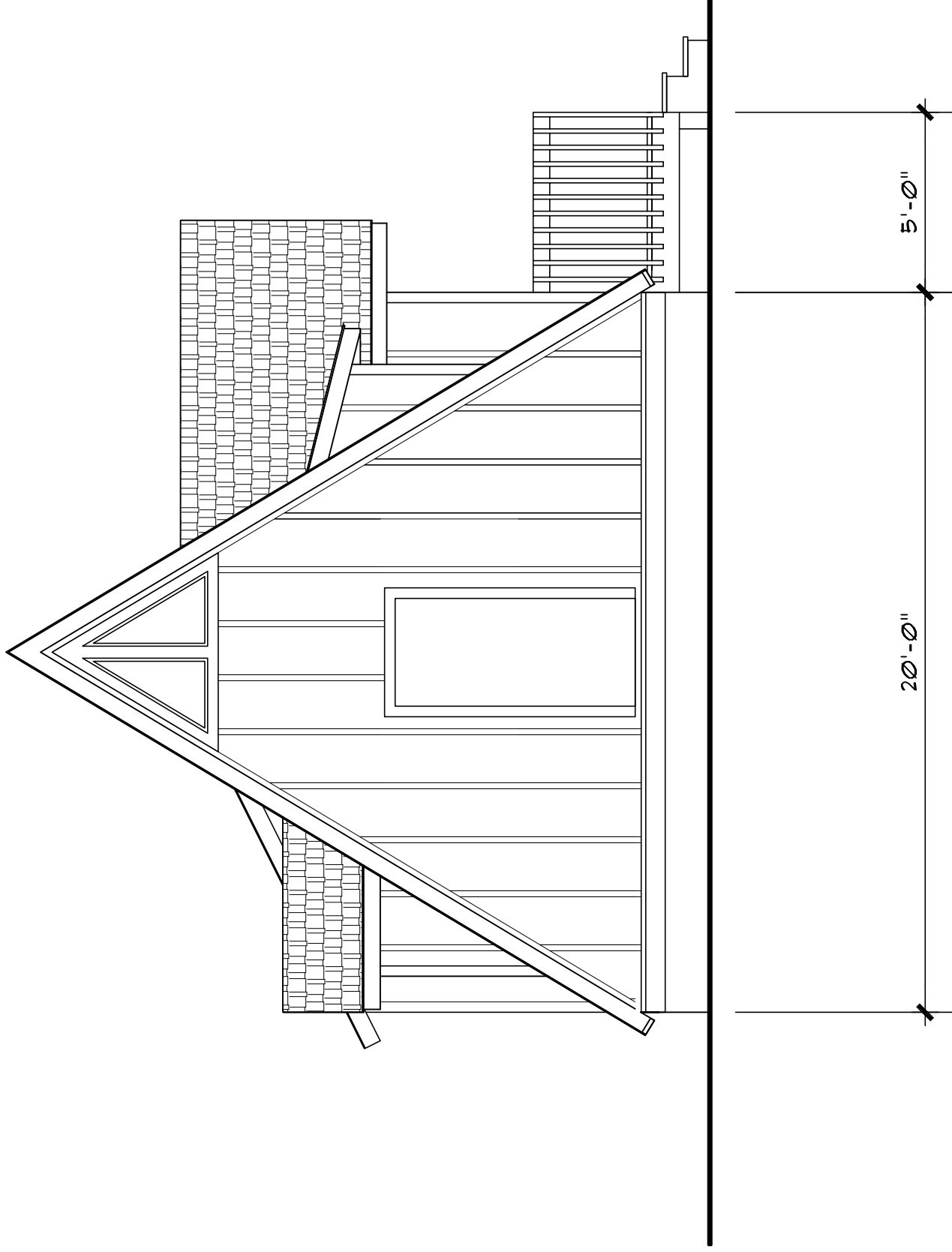
Independent Engineering Review Date (if applicable): N/A

Planning Commission Action/Date (attach minutes): _____

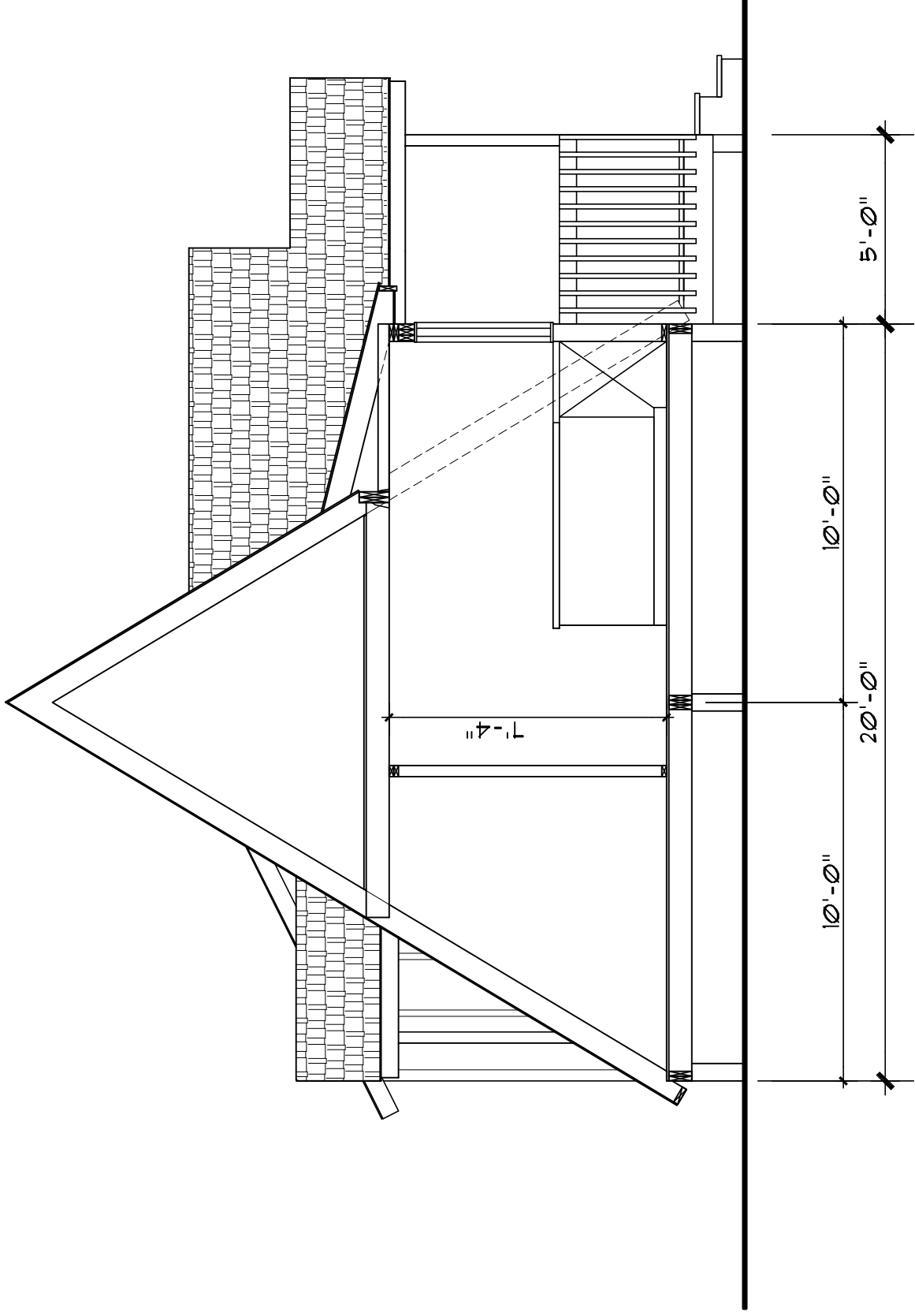
BOT Approval Date: _____



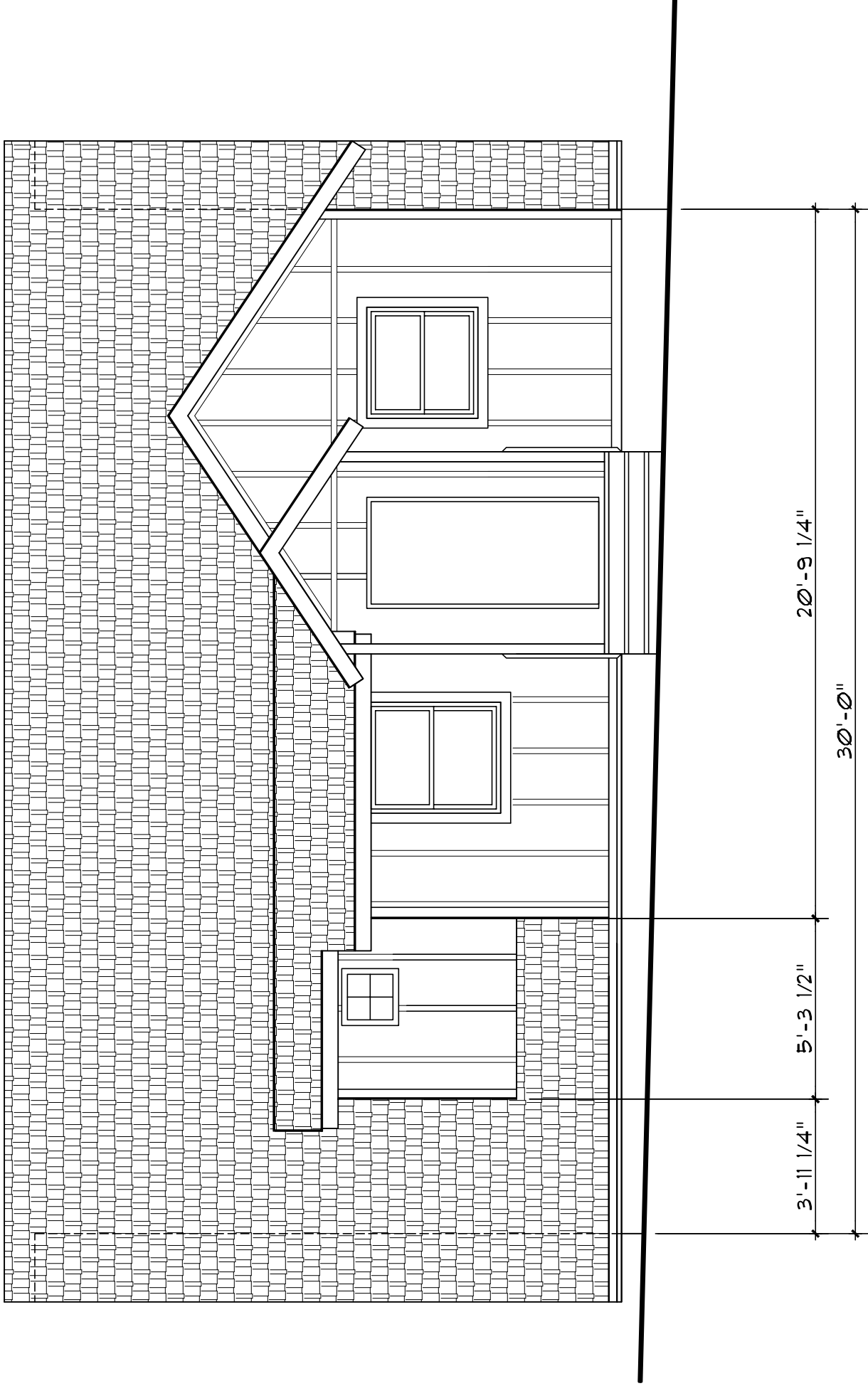
EXISTING ENTRANCE



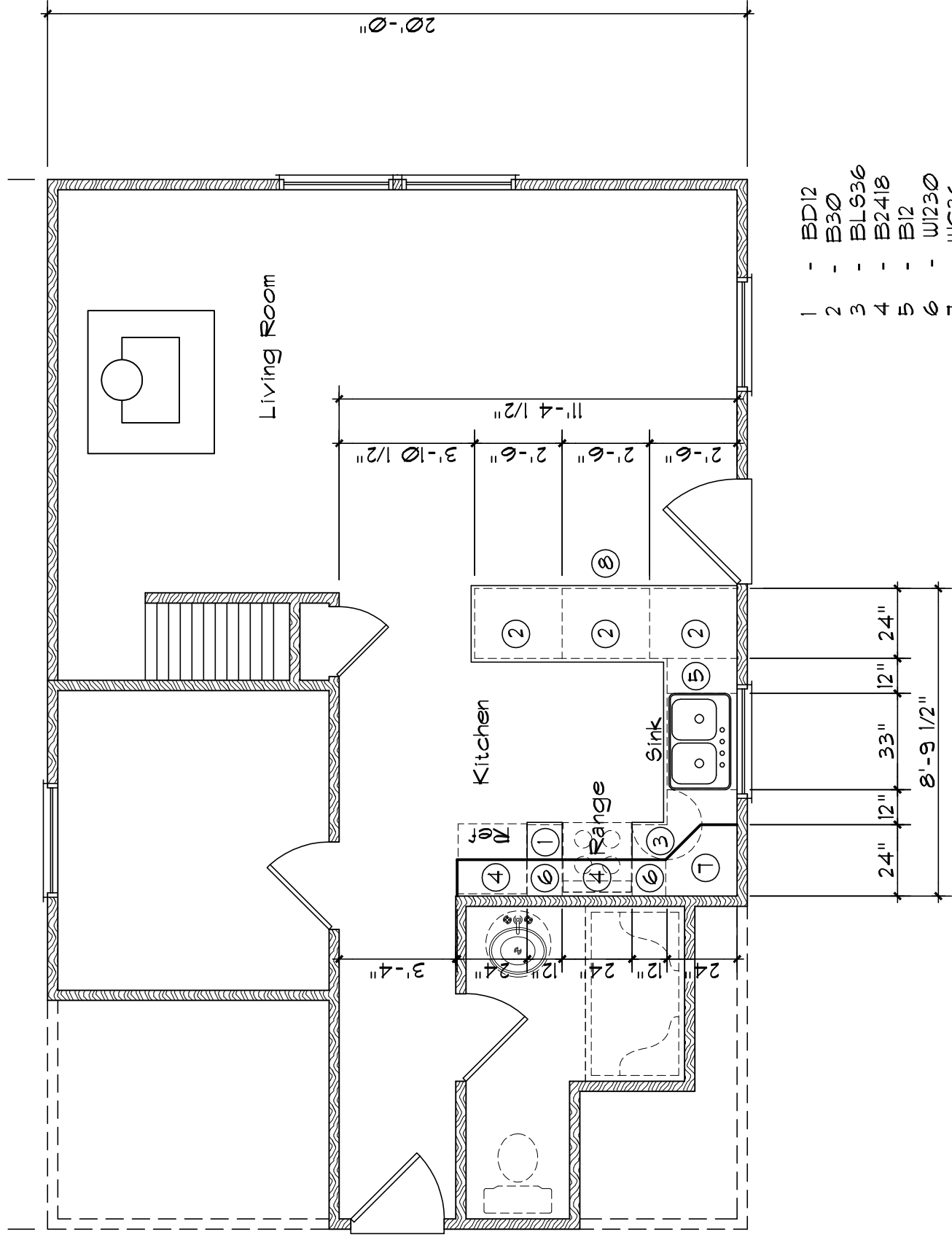
EXISTING REAR ELEVATION



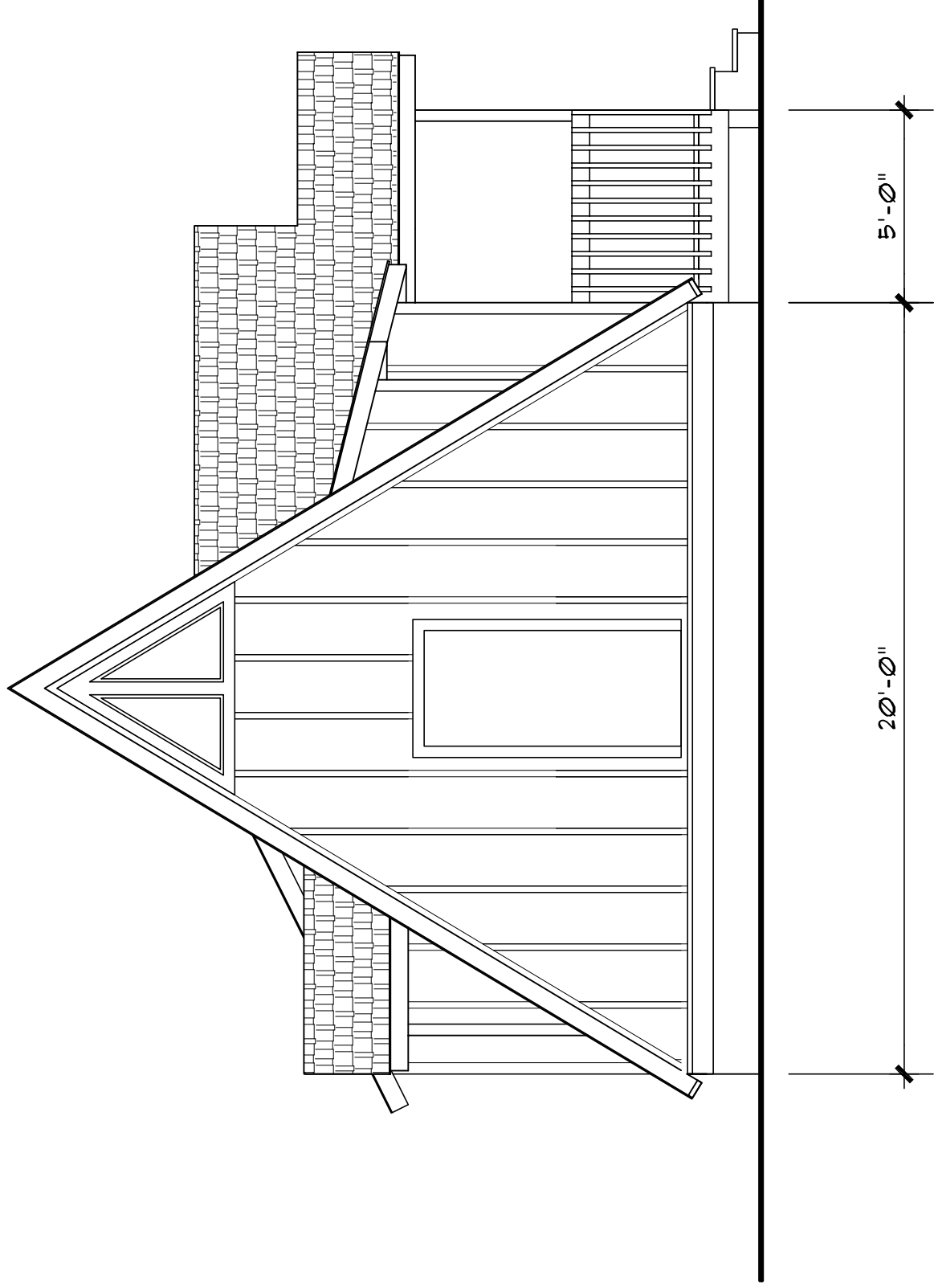
NEW BUILDING SECTION



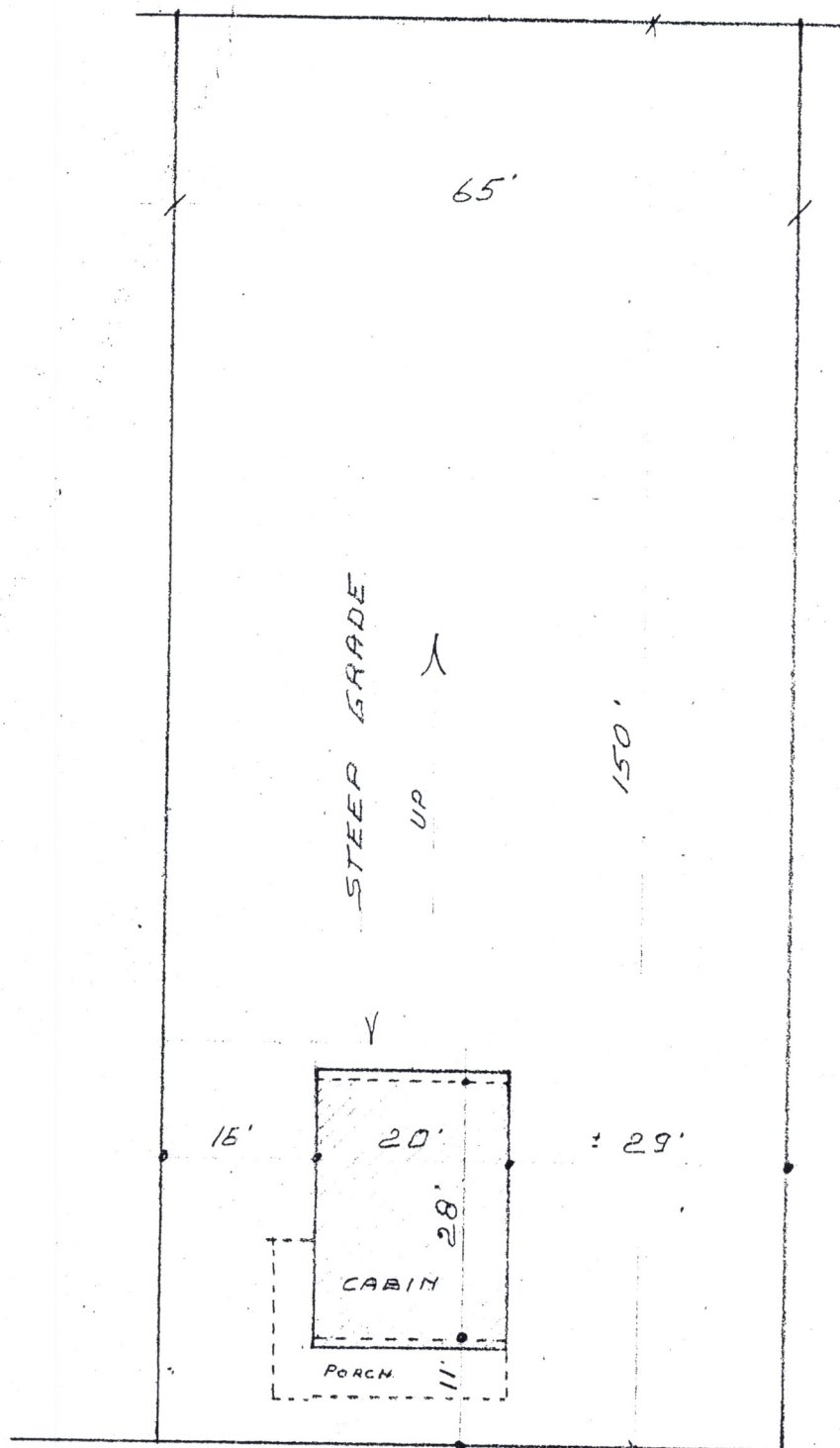
NEW ENTRANCE ELEVATION



NEW FLOOR PLAN



NEW REAR ELEVATION



Plotplan of cabinsite
 Owner; Evert Kamphorst
 91 Marland Road
 Colorado Springs, Co. 8090
 Tel. 473- 1955.

11160 Belvidere Avenue, Green Mountain Falls, Co.
 Lot 17, block 58, addition 3.

That portion of the Southwest quarter of the Northwest quarter of Section 8 in Township 13 South, Range 68 West of the 6th P.M., described as follows; Beginning on the North line of Belvidere Avenue at a point 65 feet Westerly thereon from the Southwest corner of the tract described in deed to William H. and Martha Edith Sermon recorded in Book 1277 at Page 47 of the records of El Paso County, Colorado, under Reception No. 844997; thence Easterly 65 feet on the North line of Belvidere Avenue to the Southwest corner of said Sermon tract; thence Northerly 150 feet on the Westerly line of said Sermon tract; thence Northerly 150 feet on the westerly line of said Sermon tract to the Northwest corner thereof; thence Westerly 65 feet parallel with the Northerly line of said Belvidere Avenue; thence Southerly 150 feet, more or less, to the point of beginning, all in the Town of Green Mountain Falls.

PIKES PEAK REGIONAL BUILDING DEPARTMENT

Documents Required Prior to Obtaining a Floodplain Permit for

11160 BELVIDERE AVE - REPLACING EXST. DECK.

- ☒ Floodplain Permit Application Form
- ☒ Detailed Site Plan showing distance of structure(s) from two property line boundaries
- ☒ Floodplain Application Fee \$ 50
- ☐ Confirmation of City/County jurisdiction approval
- ☐ City/County approved Grading Plan
- ☐ Preliminary Elevation Certificate sealed by a Professional Land Suveyor
- ☒ Construction Drawings
 - ☒ Professional Engineer Sealed that structure is properly anchored to resist 100-year flood
 - ☐ Professional Engineer Sealed with details of structure venting
- ☒ Zero Rise Certification letter and supporting calculations/documentation from a Professional Engineer
- ☐ <1' Rise Certification letter and supporting calculations/documentation from a Professional Engineer
- ☐ Approved CLOMR from FEMA
- ☐ Army Corp of Engineers 404 permit/letter approval
- ☒ Certified Appraisal (less than two years old) of existing structure or copy of El Paso County Assessor Appraisal Estimate
- ☒ Detailed job cost estimate from contractor
- ☐ Other _____

The Town of



Green Mountain Falls

P.O. Box 524, 7035 Oak St., Green Mountain Falls, CO 80819, (719) 684-9414

NOTE: THE INDIVIDUAL PULLING THE PERMIT WITH THE REGIONAL BUILDING DEPARTMENT IS RESPONSIBLE FOR PROVIDING THE TOWN OF GREEN MOUNTAIN FALLS WITH THE PERMIT NUMBER.

DATE: June 1, 2009

RECEIPT # 24820

Pikes Peak Regional Building Department
2880 International Circle
Colorado Springs, CO 80910 (327-2880)

PROPOSED PROJECT: Rebuild deck *existing - same footprint*

PROPERTY OWNER: Miles Rovig

PROPERTY ADDRESS: 11060 Belvedere

CONTRACTOR (IF APPLICABLE): Homeowner

Chris Frandina
CHRIS FRANDINA, MUNICIPAL CLERK

APPLICABLE FEES HAVE BEEN PAID TO
THE TOWN OF GREEN MOUNTAIN FALLS

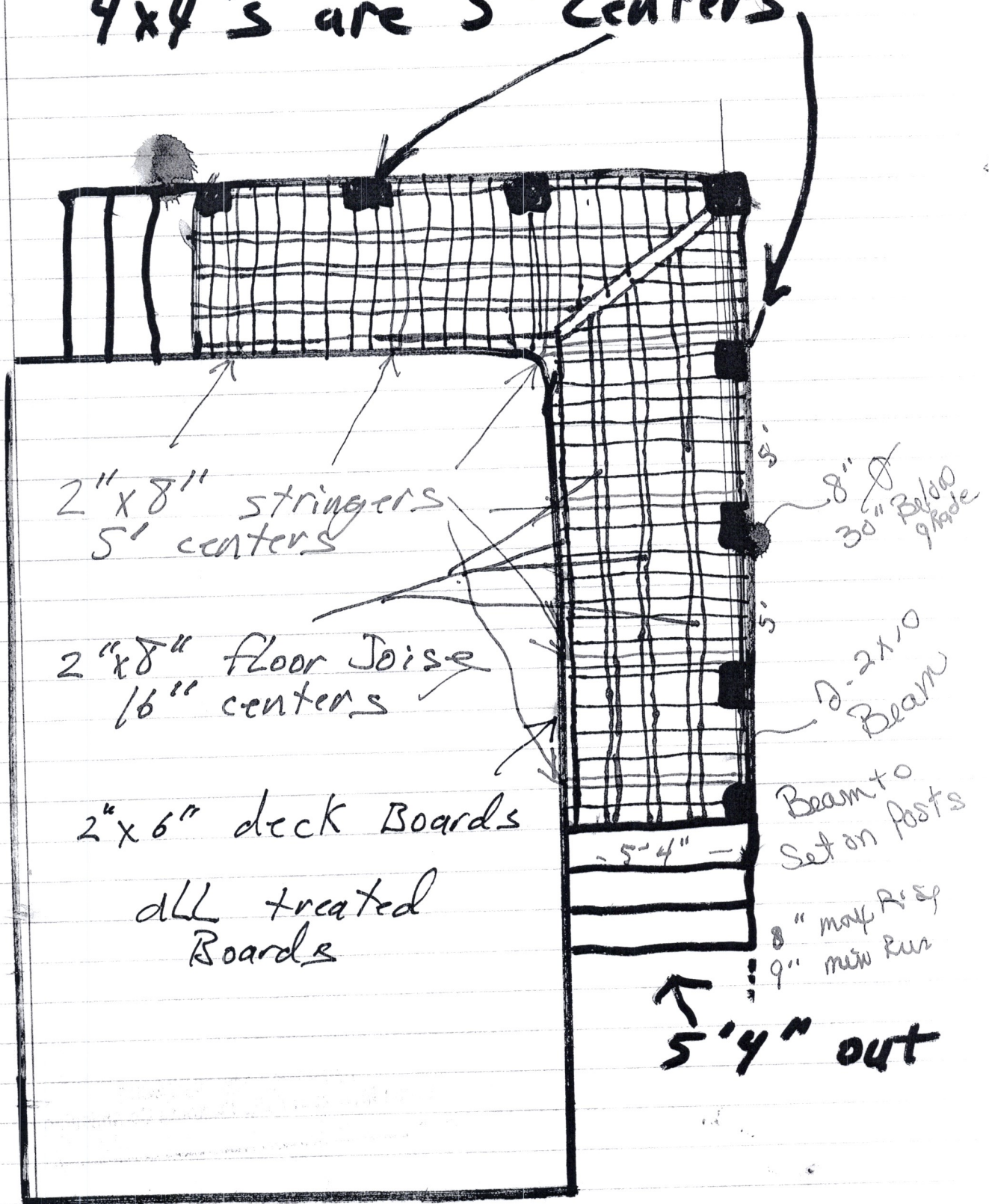
PERMIT #

June 11, 2009

APPROVED BY MOS

Jan

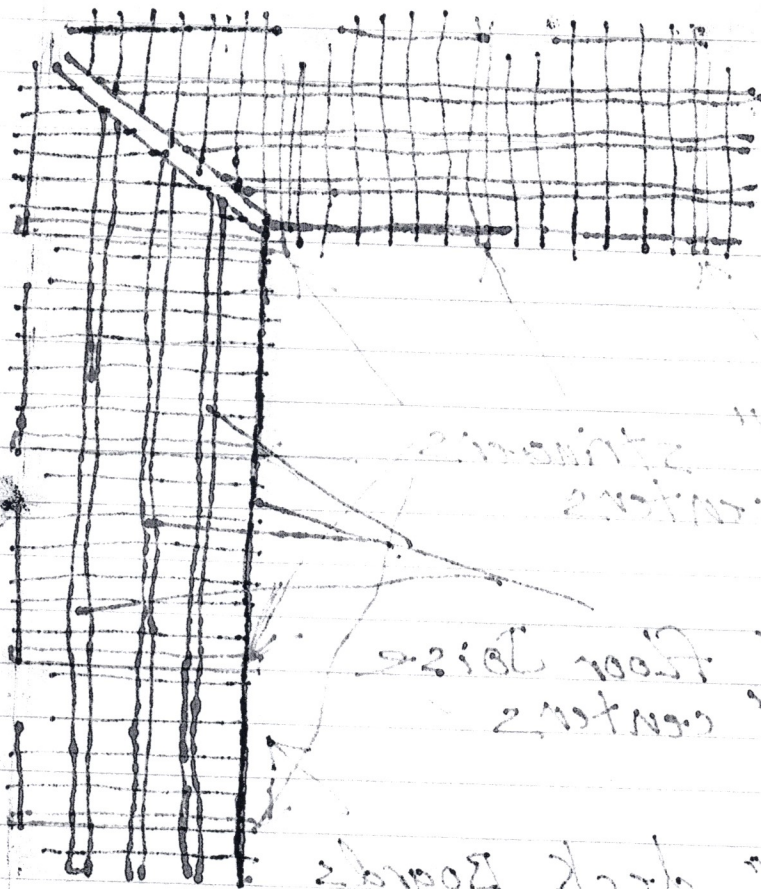
4x4's are 5' Centers



93082-01-033

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2x8" black boards

all treated
boards

APPROVED FOR ISSUANCE
Green Mountain Falls Planning Commission

Date April 28, 2009

Chris Hardina

PIKES PEAK REGIONAL FLOODPLAIN MANAGEMENT OFFICE

Floodplain Development Permit Application

This application is required for authorization of any construction or modification within a designated floodplain. If you need further information regarding this application and regulations, call 719-327-2907. Submit application and attachments to the Regional Floodplain Administration at Pikes Peak Regional Building Department.

OFFICE USE ONLY

Permit # _____
Application received _____
Plan Approved _____
Structure Market Value _____

Date 6/23/9

Property owner MYLES ROVIG
Telephone 970-309-1707 E-mail micky@rol.net Fax 970-945-1287
Mailing address of property owner 750 GREENWAY DR.
City GLENWOOD SPRINGS State CO Zip Code 81601

Contractor OWNER
Telephone _____ E-mail _____ Fax _____

Project address 11160 BELVIDERE (Attach legal description)
City GREEN MTN. FALLS State CO Zip Code 80819

Location description/directions _____
Parcel Schedule # _____ Flood Insurance Rate Map (FIRM) # _____
Water Course FOUNTAIN CREEK Base Flood Elevation _____
Project Cost _____

Project Type: (Check all that apply to your project.)

- | | | |
|---|--|--|
| <input type="checkbox"/> NEW CONSTRUCTION | <input type="checkbox"/> SINGLE FAMILY | <input type="checkbox"/> WATER COURSE MODIFICATION |
| <input checked="" type="checkbox"/> ADDITION/REMODEL/REPAIR | <input type="checkbox"/> MULTIFAMILY | <input type="checkbox"/> FILL/EXCAVATION |
| <input type="checkbox"/> MANUFACTURED UNIT | <input type="checkbox"/> BRIDGE | <input type="checkbox"/> CULVERT |
| <input type="checkbox"/> NONRESIDENTIAL USE | <input type="checkbox"/> OTHER _____ | |

Project Description: REPLACE EXISTING DECK - SAME FOOTPRINT
NO CHANGES

Requirements of construction plans include:

- Mean sea level elevations of proposed lowest floor. Flood proofing level must be noted on plans for new structures.
- All structural elements must be designed to withstand the effects of flooding by an engineer licensed by the state of Colorado.
- A state of Colorado licensed engineer must certify that construction in a floodway will not increase of flood elevations.
- Plans must be drawn to scale and include applicable items (listed in box).

Plans (application attachments):

- ☐ Drawn to scale
- ☐ Dimensions
- ☐ Elevations
- ☐ Project location indicated on site
- ☐ New/Existing structures indicated
- ☐ Fill/Excavation areas noted
- ☐ Drainage
- ☐ Material storage areas
- ☐ Other _____

OFFICE USE ONLY (Do not write in this box)

Submittals to FEMA:

- ☐ None
- ☐ CLOMA
- ☐ CLOMR-F
- ☐ CLOMR
- ☐ Date approved _____

Planned Submittals:

- ☐ None
- ☐ LOMA
- ☐ LOMR-F
- ☐ LOMR
- ☐ Other _____

Elevation Certificate Required: Yes ___ No ___ Unknown ___

SUGGESTED LANGUAGE FOR A ZERO RISE CERTIFICATION

042308

FAQ for projects in town

Julia Simmons to make suggestions and revisions and present Tuesday at meeting

PPRBD website to give homeowners: <https://www.pprbd.org/Information/HomeownerPermit>

Projects that do not require a permit

- Painting
- Flooring and Carpeting
- Cabinets and Counter tops
- Window and door replacement
- Minor Cosmetic repairs
- Retaining walls not more than four (4) feet in height measured from the lower grade to the upper grade
- Private sidewalks, driveways, and platforms

Projects that require review by the Planning Commission

Generally any project that is an outside building project to the residence will require planning commission approval for architectural review. To get planning commission approval, submit a “[Request for Planning Commission Review](#)” form to the town clerk. There are specific forms for Fences and Grading.

[Fence Permit](#) (16-5)

1. Provide Survey of property or Utility location drawing with location of fence shown.
2. Provide sample or picture of material.
3. As long as fence is under 7ft It does not need to be submitted to PPRBD

Sheds (16-6)

1. Provide Survey of property or Utility location drawing with location of Shed shown.
2. Provide website, brochure or drawing of proposed shed.
3. As long as shed is under 200 square feet it does not need to be submitted to PPRBD.

Decks

1. Provide Survey of property or Utility location drawing with location of Deck and dimensions shown.
2. Provide sample or picture of material.
3. Any deck must be approved by the planning commission, but some decks do not need PPRBD approval. Please refer homeowner to PPRBD website.

New Homes/Additions (16-705)

1. Must go through plan review process with Planning Commission.
2. Homeowner needs to provide site plan, with work being shown including setbacks.
3. Homeowner or Contractor needs to provide elevations of work, and if an addition, elevations showing addition in relation to existing structure.

Rezoning

Please have owner fill out form for rezoning and refer to section 16-711 of the code for all requirements

[Grading Permit](#) (17-5)

1. Please have requestor refer to section 17-5.
2. Plans must be submitted to planning commission and town.
3. Requestor will pay for an outside engineering firm to review plans.

4. Planning commission approval is based on outside engineering firm's approval of plans

Regional Building Information (PPRBD)

PPRBD website to give homeowners: <https://www.pprbd.org/Information/HomeownerPermit>

1. PPRBD issues permits, reviews plans and in general is a very helpful resource.
2. Their website gives you relevant info on what work does or does not need a permit, if your contractor needs a license.

General FAQ

1. Does my roofer need a license. YES.
2. Planning Commission related fees are listed on the town website.
https://www.colorado.gov/pacific/sites/default/files/2018.12.19%20%20Green%20Mountain%20Falls%202019%20Fee%20Schedule_1.pdf
3. GMF Municipal Code:
https://library.municode.com/co/green_mountain_falls/codes/municipal_code?nodeId=GRMOFA

Definitions:

Setback: A prescribed minimum distance from the nearest property line to any new structures. Minimum distances are in the Municipal Code Sec 16-301.

Site Plan: A scale drawing showing Property Lines and the location of all existing and proposed structures on the lot.

TOWN OF GREEN MOUNTAIN FALLS

ORDINANCE NO. 2019-02

AN ORDINANCE REPEALING AND REENACTING SECTION 16-711 OF THE GREEN MOUNTAIN FALLS MUNICIPAL CODE CONCERNING ZONING AMENDMENTS

WHEREAS, the Board of Trustees desires to simplify its rezoning process.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE TOWN OF GREEN MOUNTAIN FALLS, COLORADO:

Section 1. Section 16-711 of the Green Mountain Falls Municipal Code is hereby repealed and reenacted to read as follows:

Sec. 16-711. – Zoning Amendments

(a) Initiation of zoning changes. A rezoning may be initiated by the Town, by an initiative petition, or by application of the fee owners of the property that is the subject of the rezoning.

(b) Submittal requirements. An application for rezoning shall include the following, as applicable:

- (1) Proof of ownership of the subject property satisfactory to the Town;
- (2) The reason for the change in zone classification;
- (3) The total number of acres in the requested area;
- (4) The number of apartment buildings;
- (5) The number of dwelling units per building;
- (6) The number of dwelling units per acre;
- (7) The number of industrial sites proposed;
- (8) Typical lot sizes: length and width;
- (9) Acres and percent of land to be set aside as open space, not to include parking, drives and access roads;
- (10) Type of proposed recreational facilities;
- (11) If phased construction is proposed, how it will be phased;
- (12) Anticipated schedule of development;

- (13) How water and sewer will be provided;
- (14) Proposed uses, relationship between uses and densities; and
- (15) Legal description and drawing. The drawing shall be at a scale suitable to describe the information required and shall include:
 - a. Boundary description of the land to be zoned which shall illustrate the legal description;
 - b. Existing land uses on the property;
 - c. Adjoining property ownership and use;
 - d. Existing and proposed structures;
 - e. Existing and proposed easements; and
 - f. Name and addresses of the petitioner, owners of all interest in the property and the preparer.

(c) Procedure.

(1) Public hearing. The Planning Commission shall conduct a public hearing on the application within seventy-five (75) days of the filing of a complete application and prepare recommendations for the Board of Trustees. After receipt of the Planning Commission recommendation, the Board of Trustees shall conduct a public hearing and render a decision.

(2) Criteria. The Town shall consider whether the rezoning complies with at least one of the following criteria:

- a. The proposed rezoning furthers the goals and policies of the Comprehensive Plan;
- b. The rezoning is consistent with the purpose statement of the proposed zoning district;
- c. There have been significant changes in the area to warrant a zoning change; or
- d. There was an error in establishing the current zoning.

(3) Notice. Notice of the public hearings shall be provided by posting the property and by publication in an official paper or paper of general circulation in the Town at least fifteen (15) days prior to the public hearing. The notice shall describe the time and place of the hearing, the nature of the application, and the subject property.

(d) Protests.

(1) If a valid petition opposing a change in zoning classification is filed with the Town, the proposed amendment may then only be adopted by a favorable vote of two-thirds of all members of the Board of Trustees.

(2) To be valid, the petition shall:

a. Be signed by the owners of either twenty percent (20%) or more of the property subject to the proposed change; or by twenty percent (20%) or more of the area of land extending a radius of one hundred (100) feet from the boundaries of the property which is subject to the proposed change;

b. Be received by the Town at least twenty-four (24) hours prior to the public hearing before the Board of Trustees; and

c. Be on a form provided by the Town and containing all the information requested on the form.

Section 2. Safety Clause. The Board of Trustees hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Green Mountain Falls, that it is promulgated for the health, safety and welfare of the public and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Board of Trustees further determines that this Ordinance bears a rational relation to the proper legislative object sought to be attained.

Section 3. Severability. If any clause, sentence, paragraph, or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

Section 4. Effective Date. This Ordinance shall be effective thirty (30) days after passage.

INTRODUCED AND ORDERED PUBLISHED the ____ day of _____, 2019, at the Green Mountain Falls Town Hall, 10615 Green Mountain Falls Road, Green Mountain Falls, Colorado.

ADOPTED AND ORDERED PUBLISHED the ____ day of _____, 2019.

Jane Newberry, Mayor

ATTEST:

Laura Kotewa, Town Clerk/Treasurer

Published in the Pike Peaks Courier, _____2019.