



## AGENDA

**Planning Commission**  
**Tuesday, October 27, 2020**  
**6:30 p.m. \*Zoom Virtual Meeting**

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**1. CALL TO ORDER**

**2. ADDITIONS, DELETIONS, & CORRECTIONS TO THE AGENDA**

**3. MINUTES**

- a. Minutes of the September 8, 2020 Regular Meeting

**4. PUBLIC COMMENT**

- a. The Public May Address Items Not Germane to the Agenda but Related to Planning and Land Use. Register with Town Clerk by 4:00 PM, Tuesday, October 27, 2020

**5. UNFINISHED BUSINESS**

- a. PR2020-17 Addition – Architectural and Zoning Plan Review of Garage and Master Bedroom Addition to Single-Family Home at 10330 El Paso Avenue. William Fisher, Applicant, on Behalf of Cord Smith, Owner

**6. NEW BUSINESS**

- a. V2020-02 Variance – Side Setback Variance – (9.05 ft where 10 ft is required) at 10330 El Paso Avenue. William Fisher, Applicant, on Behalf of Cord Smith, Owner
- b. GR2020-02 Grading Permit at 10330 El Paso Avenue. William Fisher, Applicant, on Behalf of Cord Smith, Owner
- c. DR2020-02 Driveway Permit at 10330 El Paso Avenue. William Fisher, Applicant, on Behalf of Cord Smith, Owner

**7. OTHER BUSINESS**

- a. Planning Commission Meeting Management Discussion – Input to Planning Staff on Agenda Documents, Meeting Format, Minutes and Other Housekeeping. Chairperson Todd Dixon

**8. ADJOURNMENT**

**\*Participants can join by using the following Zoom Meeting link or phone number:**

Meeting Link

**Meeting ID:** 850 1467 8662

**Passcode:** 130912

**Phone:** 1 (346) 248-7799



## MEETING MINUTES

### Planning Commission Meeting September 8, 2020 6:30 p.m. Zoom Virtual Meeting

Commissioners Present: Todd Dixon, Sean Ives, Lamar Matthews, Gregory Williamson, Paul Yingling

Ex Officio Member: Mayor Jane Newberry

Board of Trustees Liaison: Katharine Guthrie

GMF Staff: Julia Simmons

[Meeting Link](#)

Agenda Item	Motion/Discussion	M/S	TD	SI	LM	GW	PY	JN
1. CALL TO ORDER / ROLL CALL	Commissioner Dixon called the meeting to order at 6:30 PM. Roll call is reflected in minutes header for all present.							
2. ADDITIONS, DELETIONS, & CORRECTIONS TO THE AGENDA	<b>Move to accept the agenda with the numbering correction on Item 6e, which should be Plan Review PR2020-20.</b> Motion carries. All aye.	PY/GW	aye	aye	aye	aye	aye	-
3. APPROVAL OF MINUTES August 11, 2020 Regular Meeting	<b>Move to accept the minutes as submitted.</b> Motion carries. All aye.	PY/SI	aye	aye	-	-	aye	-
4. PUBLIC COMMENT	No members of the public asked to be recognized for public comment.							
5. UNFINISHED BUSINESS								
5a. Election of Officers – Chair and Vice Chair. Discussion and Consideration Continued from August 11, 2020 Meeting	Commissioner Williamson asks to be recognized and gives comments pertaining to the position of Chairperson and overall meeting management. <b>Move to nominate Commissioner Dixon as Chairperson</b>	GW/PY	-	aye	aye	aye	aye	-
	<b>Move to nominate Commissioner Williamson as Vice Chairperson</b>	PY/LM	aye	aye	aye	-	aye	-
6. NEW BUSINESS								
6a. PR2020-16 Accessory Building – Architectural and Zoning Plan Review of Accessory Building at 10255 Ute	Chair asks to open the public hearing for all items of New Business.		aye	aye	aye	aye	aye	-

Agenda Item	Motion/Discussion	M/S	TD	SI	LM	GW	PY	JN
Pass Avenue. Martin and Corrine Romero, Applicants	Commissioner Matthews and Commissioner Yingling each ask for further clarification- that this is for efficiency and the public will have an opportunity to speak prior to each vote. Staff report for PR2020-16 is reviewed; applicant answers Commissioner questions; no public comment <b>Move to approve PR2020-16 with no conditions.</b>	PY/GW						
6b. PR2020-18 New Deck – Zoning Plan Review of New Deck at 10805 Olathe Street. Greg Trowbridge on Behalf of Jamie Krall, Owner	Staff report for PR2020-16 is reviewed. VC Williamson: asks for clarification on staff note that the property and residential structure front setback may be nonconforming. Staff: The proposed deck meets the setback requirements for R-1 5,000. Mr. Trowbridge: the deck footprint was expanded to meet PPRBD Building Code for health and safety. Old footprint design wouldn't pass RBD UBC standard. No members of the public ask to be recognized for comment <b>Move to approve PR2020-18 with no conditions</b>	LM/PY	aye	aye	aye	aye	aye	-
6c. PR2020-17 Addition – Architectural and Zoning Plan Review of Garage and Master Bedroom Addition to Single-Family Home at 10330 El Paso Avenue. William Fisher, Applicant, on Behalf of Cord Smith, Owner	Staff report for PR2020-17 is reviewed. Bill Fisher (no address given): there is a zoning designation discrepancy; GMF zoned this parcel R-1 5,000 for a 2002 building permit with PPRBD. Vice Chair Williamson: GMF Ordinance/Code designates zoning, maintained in Town Hall files. The zoning designation needs to be determined to decide if a variance is necessary. Chair opens the public hearing up to comments. Cord Smith, 10330 El Paso Avenue: neighbors built using the 5' setback standard; the former landowner built the carport with 5' setbacks. Would like to continue building retaining walls and doing earthwork now. Commissioner Yingling: is acceptable to approve the architectural plan review and postpone the zoning until further information is presented?	PY/GW	aye	aye	aye	aye	aye	-

Agenda Item	Motion/Discussion	M/S	TD	SI	LM	GW	PY	JN
	<p>Chair TD: preference is to have zoning issue “cleaned up” and acted on as one item of business.</p> <p>Bill Fisher: the zoning maps do not indicate the designation for each parcel; the only place zoning is defined is in the Zoning Code, which he has not yet reviewed. The only evidence confirming zoning is the PPRBD 2002 document stating the parcel is zoned R-1 5,000.</p> <p>Commissioner Yingling: the zoning determination is beyond the PC purview and will not be resolved tonight.</p> <p><b>Move to continue PR2020-17 to next Planning Commission meeting, leaving open the possibility of a special meeting.</b></p>							
6d. PR2020-19 New Deck – Architectural and Zoning Plan Review of New Deck at 7265 Catamount Street. Joel Adcock, Applicant, on Behalf of Jason and Laura Morgan, Owners	<p>Staff report for PR2020-19 is reviewed; applicant responds to staff report and answers questions; no public comment given.</p> <p><b>Move to approve PR2020-19 with staff recommended conditions:</b></p> <p><b>1. A signed land use approval application and fee is received by Town Clerk</b></p> <p><b>2. The Applicant provides proof of current GMF Business License</b></p>	PY/SI	aye	aye	aye	aye	aye	-
6e. PR2020-20 Accessory Building – Architectural and Zoning Plan Review of Accessory Building at 10975 Falls Avenue. Gary Brown, Applicant	<p>Staff report for PR2020-20 is reviewed; applicant responds to staff report and answers questions; no public comment given.</p> <p><b>Move to approve PR2020-20 with staff recommended conditions:</b></p> <p><b>1. A signed land use approval application and fee is received by Town Clerk</b></p> <p><b>2. The contractor installing the shed provides proof of current GMF Business License</b></p>	PY/SI	aye	aye	aye	aye	aye	-
<b>7. OTHER BUSINESS</b>								
Discussion and Information – Upcoming Mandatory Training. Housekeeping, and Meeting Management	<p>Bylaws to be introduced and reviewed prior to 2021; mandatory training September 10 6:00 PM.</p> <p>The Commission is welcome to suggest a revised meeting start time.</p>							

Agenda Item	Motion/Discussion	M/S	TD	SI	LM	GW	PY	JN
	Chair Dixon asks to revisit the Planning Commission Implementation periodic review of Comp Plan at next meeting.							
8. ADJOURNMENT	Chair TD adjourns the meeting at 8:04 PM							



To: Planning Commission  
From: GMF Land Use & Planning  
Date: October 23, 2020  
Re: Plan Review PR2020-17, Garage and Bedroom Addition, 10330 El Paso Avenue

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### **Background**

The Applicant submitted a Land Use Approval application for Architectural and Zoning Plan Review, application fee, and site plans for a single-family home addition, July 9, 2020. Staff noted that the site plans would require a Zoning Variance Application for side setback, 5' where 10' is required in R-1 10,000. Staff also noted that a Grading Permit with Erosion Control Plan and Driveway Permit may be required. Applicant's preference was to receive approval for the Plan Review prior to pursuing any additional permitting.

The Applicant and landowner appeared before the Planning Commission at its September 8, 2020 meeting (meeting minutes included with packet and Zoom video link is on GMF Town Website). Commission requested further information in the form of a survey or ILC and clarification on the issue of zoning designation and moved to continue Architectural and Plan Review PR 2020-17 at its next regular meeting. Regular meeting, typically the second Tuesday of the month, was rescheduled to fourth Tuesday in October to accommodate all four land use approval applications for 10330 El Paso Avenue.

Planning Commission Recommended Actions:

- Public hearing
- Review proposed project application for consistency with GMF Zoning and Land Use Code
- Approve, approve subject to conditions, or disapprove

### **Discussion**

#### **Zoning Review. Sec. 16-306. - R-1 10,000 Single-Family Residential District.**

*(d) Development requirements:*

- (1) Minimum lot area: ten thousand (10,000) square feet.*
- (2) Minimum frontage: one hundred (100) feet.*
- (3) Minimum lot width: one hundred (100) feet at front building setback line.*
- (4) Setback requirements:*
  - a. front, fifteen (15) feet;*
  - b. side, ten (10) feet; and*
  - c. rear, ten (10) feet.*

*(5) Maximum building height: thirty-five (35) feet.*

*(e) Accessory uses and buildings: refer to Article VI of this Land Use Code.*

*(f) Off-street parking: refer to Section 16-604.*

- (g) Permitted signs: refer to Article IV of this Land Use Code.*
- (h) All buildings, structures and uses shall conform to the requirements of Section 16-705.*

The electronic file maintained by Town Hall, *Official Town Zoning Map 2007*, and the El Paso County Assessor's Office show the property, owned by Cord William Smith Revocable Trust, as a 13,801 SF lot zoned R-1 10,000 Single-Family Residential.

The Improvement Location Certificate, signed by Ollie Watts Engineering on September 25, 2020, provides additional information regarding the lot lines and show the proposed addition is not setback 5-feet, as originally stated, but 9.05-feet from east property boundary. This setback inadequacy is being considered in Variance V2020-02.

#### **Sec. 16-705. - Building permits; architectural review**

*(a) Purpose. The purpose of architectural review is to ensure that high standards of design are maintained for all residential, business and commercial buildings and uses in development and construction in the Town. Anyone seeking to renovate the exterior of, add to or construct a new building shall be subject to Planning Commission approval anywhere within the Town. In promoting the general purposes of this Land Use Code, the specific intent of this Section is to:*

- (1) Protect the historic and architectural qualities of the Town's building stock;*
- (2) Promote development and building consistent with the policies of the Comprehensive Plan;*
- (3) Promote a consistent standard in architectural design and the construction of aesthetically pleasing structures;*
- (4) Improve the general quality of the environment and promote conservation of natural and manmade resources of the Town;*
- (5) Encourage land uses which are orderly, functionally efficient, healthful, convenient to the public and aesthetically pleasing;*
- (6) Encourage development of safe and attractive residential areas that are compatible with existing historical development in a variety of housing styles;*
- (7) Encourage the construction of safe, convenient and attractive commercial facilities and residences;*
- (8) Promote neighborhood integrity by congruity in architecture and cohesiveness in style;*
- (9) Encourage the preservation of the Town's early styles of architecture; and*
- (10) Promote visual relief throughout the community by preservation of mountain vistas, creation of open space and variation of styles of architecture.*

*(b) Design review policies. There are two (2) areas of policy in which the Planning Commission directs its review. The guidelines for each of these policy areas are intended to provide general direction to an applicant coming before the Planning Commission. The policies are:*

- (1) Building design and function.*
  - a. Building design. Buildings should demonstrate compatibility in materials and consistency in style throughout all exterior elevations. Building components, such as windows, doors, arches and parapets, should have proportions appropriate to the architecture of the structure.*
  - b. Additions. All additions should relate to the existing building in design, details, colors and materials.*
  - c. Energy efficiency. Buildings should be designed and oriented to maximize energy efficiency and conservation.*

- d. *Color.* Building color should complement architectural details and blend with surrounding buildings or dominant structures and should be appropriate to the architectural style proposed.
- e. *Historical significance.* Plans should show consideration for historical elements, if any, of significance existing on the site.
- (2) *Site and neighborhood compatibility.*
  - a. *Relation to site.* Buildings should be designed to relate to the existing landforms and the contours of the site and present an integrated appearance.
  - b. *Neighborhood compatibility.* Buildings should have a harmonious relationship with the surrounding neighborhood. Significant factors in establishing this relationship are a sense of scale, roof-lines, colors and materials.
- (c) *Requirements.*
- (1) *Materials.*
  - a. The use of natural materials (wood and stone) for the exterior surfaces of all buildings and other structures is encouraged. Corrugated metal, plastic and fiberglass are prohibited.
  - b. Vinyl and aluminum siding that meet the requirements of the Uniform Building Code are allowed, provided that the installation results in a uniform appearance absent of buckling and drooping.
  - c. Exterior nontextured concrete block and concrete walls (nontextured) must be covered with a veneer, stucco or other surfacing. Paint is not an acceptable cover.
  - d. All roof surfaces shall meet the requirements of the Uniform Building Code. Corrugated metal, plastic and fiberglass are not permitted. Class A roof coverings are recommended for fire resistance. Color selection to be approved prior to permit issuance.
- (2) *Colors.* Natural wood or earth tones (i.e., dark shades of brown or green) for exterior surfaces are encouraged.
- (3) *Trees shall not be removed on any lot except as follows:*
  - a. Actual land occupied for buildings plus a fifteen-foot clearance strip adjacent to the perimeter thereof;
  - b. On off-street parking areas and driveways providing access thereto; or
  - c. Diseased trees, trees damaged by natural causes and other trees which interfere with utility lines.
- (d) *Procedure.*
- (1) *The Town Clerk shall forward plans and drawings for the proposed construction of all residential, business, commercial, public and semi-public structures, including its accessory uses and structures, to the Planning Commission for its review.*
- (2) *The Planning Commission shall review plans and exterior design of all proposed residential, business, commercial, public and semi-public structures. Before approving any new residential, business, commercial, public or semi-public principal building and its accessory uses and structures, the Planning Commission shall find that the character of the proposed construction is in harmony with the established exterior architectural appeal of structures already located in the neighborhood and with approved public plans for the surrounding area so that existing and future land values within the Town will not be depreciated. The Planning Commission shall restrict its consideration in each case to the effect of the proposed construction on the health, safety, morals, and general welfare of the Town, keeping particularly in mind the unique characteristics of certain existing structures in the Town and that the prosperity of the entire*



*Town is involved in the preservation of established sections of the Town. As a minimum, the following specific criteria shall be considered by the Planning Commission:*

- a. Architectural compatibility;*
- b. Bulk of the proposed building or structure in relation to surrounding buildings and land;*
- c. Vehicular access and parking;*
- d. Pedestrian access; and*
- e. Relation to existing and future open space.*

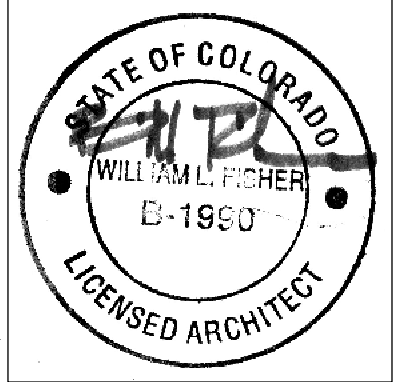
*(3) The Board of Trustees, after review and recommendation by the Planning Commission, may vary the requirements of this Section if the same may be granted without substantial detriment to the compatibility with surrounding uses and natural land features.*

The complete LU Code language is provided, highlighting made to emphasize Code's direction for what the PC *shall* review- in addition to the policy language suggesting and encouraging particular design elements. Staff believes the site plans achieve site and neighborhood compatibility and create viable solutions for extra living space, vehicular access, and parking. The design avoids areas of slope where the hillside overlay prohibits or discourages development.

#### **Conclusion**

Staff recommends the Planning Commission consider the side setback zoning variance prior to approving architectural plan review PR2020-17 at 10330 El Paso Avenue, but believes the site plans, as submitted, are consistent with policies and requirements in §16-705.

A driveway and grading plan are reasonable conditions of approval for an addition with garage and are on the October 27 agenda as items of new business.



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palmer lake, co 719 660 4356

Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	08/19/20
PHASE	Permit Docs
DRAWN	WLF
CHECKED	WLF
REV'D	

A  
1

## LOWER LEVEL FLOOR PLAN

1/4" = 1'-0"

### KEY NOTES:

- REMOVE EXG WDW & WALL BELOW. PROVIDE NEW 20 MIN. INSUL. HOLLOW MTL DOOR
- REMOVE EXISTING WINDOW. FILL IN OPENING W/ NEW STUDS, R15 INSULATION, & DRYWALL EA. SIDE.
- NEW BRIDGE ABOVE
- CENTER NEW INSULATED HOLLOW METAL DOOR OPENING ON EXISTING RAFTERS
- REMOVE PORTION OF EXISTING WALL AND PROVIDE NEW HEADER ABOVE. NEW BRIDGE FLOOR FLUSH W/ EXG BOTH SIDES W/ VINYL TRANSITION STRIP @ FLOORING CHANGE
- CLOSET RODS, SHELVES, DRAWER UNITS, RACKS, ETC. CONFIG PER OWNER
- EXTEND NEW BRIDGE WALLS TO EXISTING SLOPED GAMBREL ROOF DECK. PROVIDE NEW ROOF FLASHING.
- NEW METAL ROOFING TO MATCH EXISTING
- REMOVE EXG WDW & WALL BELOW. NEW TRIM HEAD & JAMBS.
- REMOVED EXG EXT SIDING, CLEAN SHEATHING & OVERLAY W/ NEW DRYWALL
- DEMO. EXG ROOF. RETAIN EXG CEILING STRUCTURE AND DRYWALL BELOW. SISTER NEW FLOOR JOISTS - SEE STRUCT. DRAWINGS.
- DEMO EXG STUD WALL AS REQ'D TO PROVIDE NEW GANG STUD COLUMNS AND GROUT CELLS SOLID IN EXG CMU FOUNDATION WALL. SEE STRUTURAL DRAWINGS.
- WOOD TRIM ON NEW DROPPED BEAM ABOVE.
- EXISTING METAL ROOFING BELOW
- REMOVE EXISTING AND PROVIDE NEW FIREPLACE: ICBO/UL APPROVED (TAGS TO BE VISIBLE AT TIME OF INSPECTION). GC VERIFY & PROVIDE ALL REQ'D FRAMING AND VENTING LOCATIONS & CLEARANCES

### R VALUE DATA (ZONE 5):

	IECC req'd	PROVIDED	TYPE	THICKNESS (NOM)
FLOORS ABOVE UNCONDITIONED SPACE	R30	R38	BATTS	12"
EXTERIOR STUD WALLS	R20	R21	HIGH R BATTS	5.5"
ROOF CAVITY (VAULTED)	R49	R49	CLOSED CELL FOAM	±7"
ROOF CAVITY (NRG HEEL)	R38	R38	BATTS W/ BAFFLES	±12"
DOORS & WINDOWS	U0.32	0.29	LOW E CLAD WD	-

### FLOOR PLAN LEGEND

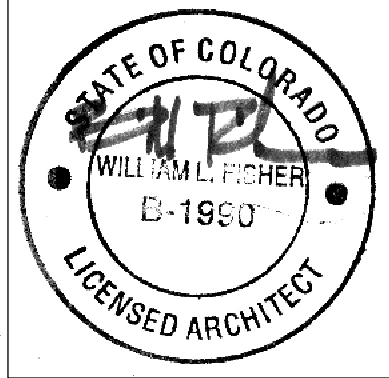
- ROOM FINISH KEY:
- FLOOR MATERIAL
- RM FINISH REMARKS
- DOOR SIZE (ACTUAL) WxHT (30=3'-0", 68=6'-8", etc)
- EXG DOORS TO REMAIN
- DEMO EXG WALLS, FIXTURES, ETC.
- EXG WALLS TO REMAIN
- NEW GYP BD STUD WALLS: 2x6's W/ R21 BATTS EXT - 2x4's INT
- SMOKE DETECTOR / CO ALARM
- FROST PROOF HOSE BIB
- WINDOW W, HT, & TYPE (26=2'-6", 40=4'-0" etc)
- BATHROOM EXH. FAN (REPLACE EXG)
- CARPET
- HARDWOOD FLOORING
- CASEMENT WINDOW
- AWNING WINDOW
- FIXED / PICTURE WINDOW
- UNLESS OTHERWISE NOTED
- EXISTING
- TEMPERED GLASS
- WINDOW
- OPENING
- CPT
- HW
- CAS
- AWN
- FIX
- UON
- EXG
- TEMP
- WDW
- OPG
- 2640 CAS
- 1 A6

### GENERAL NOTES:

- ALL NEW & EXG WALLS & CEIL'S ARE PAINTED GYP. BD. TEXTURED TO MATCH EXG. FLUSH NEW & EXG SURFACES.
- PAINT ALL EXG DRYWALL THROUGHOUT UON.
- NEW & EXG DOORS, TRIM, & BASE PROFILES & FINISHES SHALL MATCH
- WINDOWS ARE LOW E INSUL GLASS IN VINYL FRAMES. VERIFY ALL R.O. SIZES.

### ROOM FINISH REMARKS

- NEW INT. FINISHES, CAB'S, & MINOR MECH & ELECT REV'S. ONLY IN THIS AREA
- NEW DRYWALL CEILING ABOVE WHERE EXISTING ROOF DEMO OCCURS.
- CUSTOM BUILT-IN CAB'S BY OWNER
- VAULTED DRYWALL CEILING IN THIS ROOM



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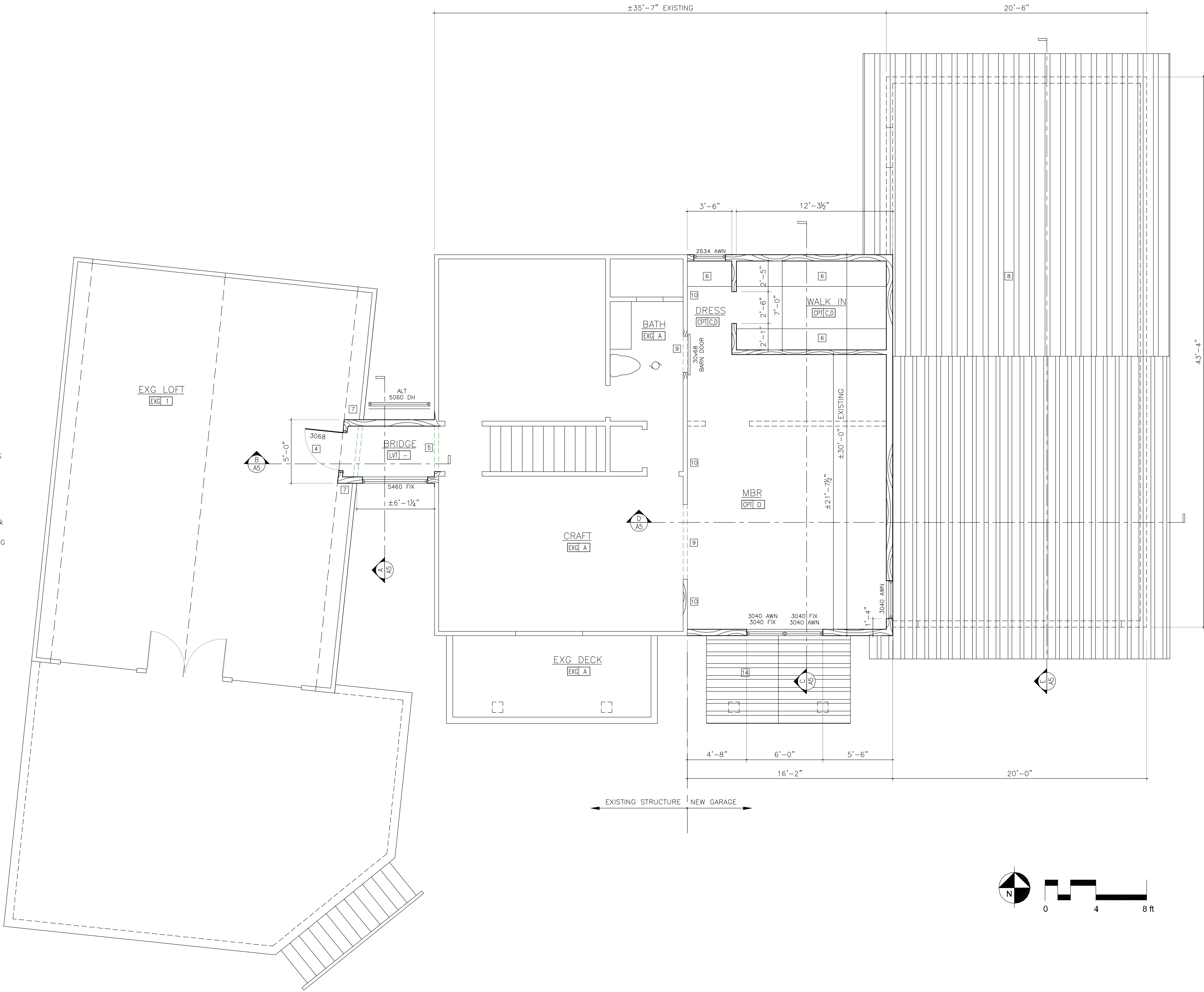
Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	08/19/20
PHASE	Permit Dwg
DRAWN	WLF
CHECKED	WLF
REV'D	

A  
2

## UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"



### KEY NOTES:

- REMOVE EXG. WDW & WALL BELOW. PROVIDE NEW 20 MIN. INSUL. HOLLOW MTL DOOR
- REMOVE EXISTING WINDOW. FILL IN OPENING W/ NEW STUDS, R15 INSULATION, & DRYWALL EA. SIDE.
- NEW BRIDGE ABOVE
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### FLOOR PLAN LEGEND

- ROOM FINISH KEY:
- FLOOR MATERIAL
- DOOR SIZE (ACTUAL) WxHT (30=3'-0", 68=6'-8", etc)
- EXG DOORS TO REMAIN
- DEMO EXG WALLS, FIXTURES, ETC.
- EXG WALLS TO REMAIN
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- HARDWOOD FLOORING
- CASEMENT WINDOW
- AWNING WINDOW
- FIXED / PICTURE WINDOW
- UNLESS OTHERWISE NOTED
- EXISTING
- TEMPERED GLASS
- WINDOW
- OPENING

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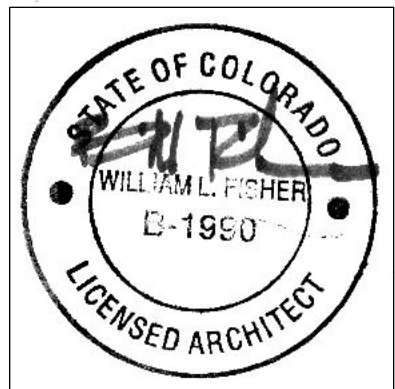
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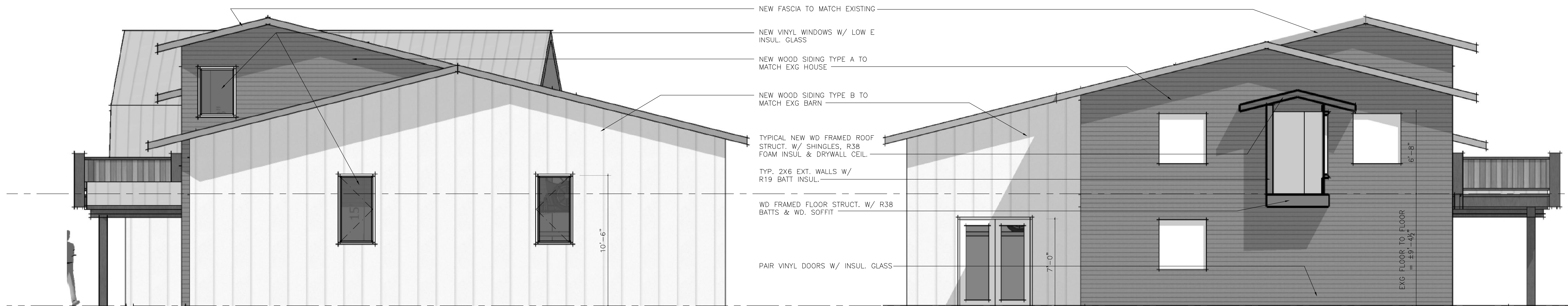
Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	08/19/20
PHASE	Permit Dwg
DRAWN	WLF
CHECKED	WLF
REV'D	

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3



SOUTH ELEVATION



EAST ELEVATION

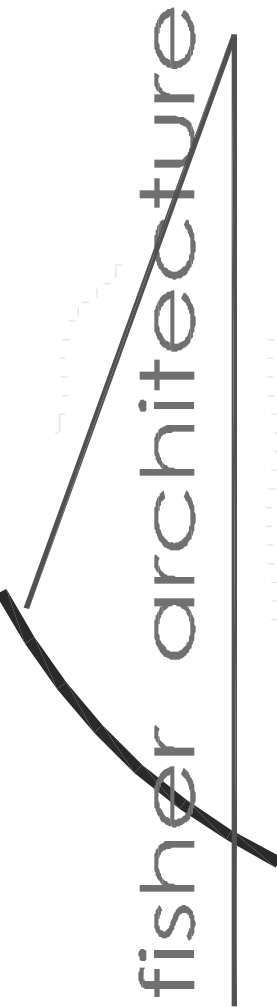
WEST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS

1/4" = 1'-0"



10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT 20.4.2  
DATE 08/19/20  
PHASE Permit Dwgs  
DRAWN WLF  
CHECKED WLF  
REV'D .

# A4

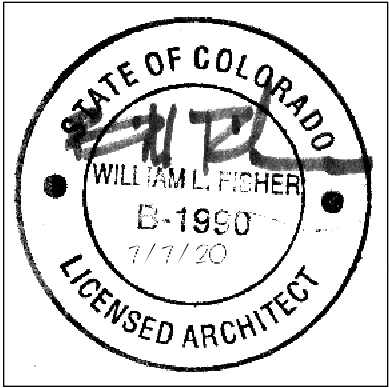

$$\overline{1/4''} = 1'-0''$$

© FISHER ARCHITECTURE

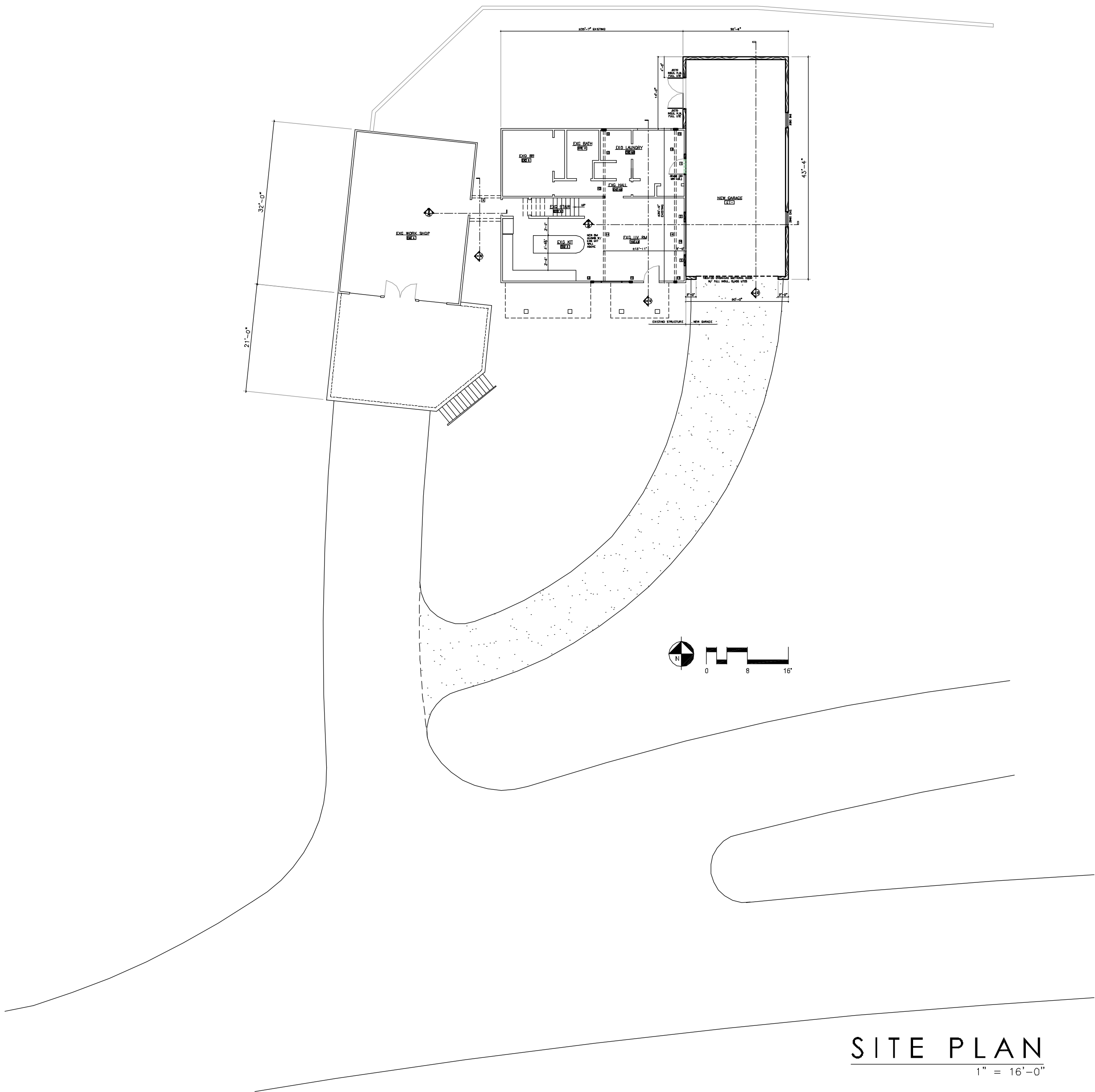


# Smith Residence Addition & Remodel

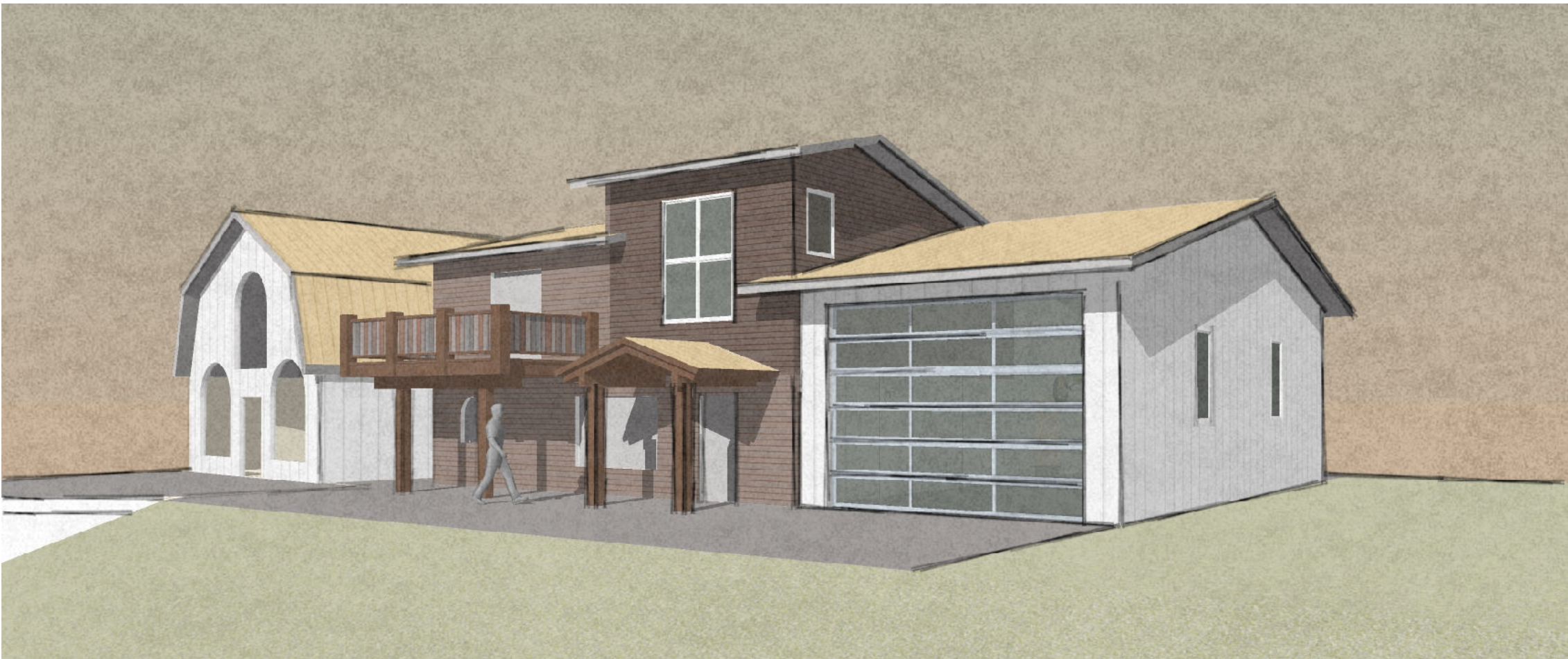
10330 El Paso Ave, Green Mountain Falls, CO 80919



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palmer lake, co 719 660 4356



SITE PLAN  
1" = 16'-0"



VICINITY MAP



GENERAL NOTES

- ALL WORK PER 2017 PPRBC
- NOTIFY ARCHITECT IMMEDIATELY IF ACTUAL CONDITIONS DO NOT REFLECT THOSE SHOWN ON THE DRAWINGS.
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- ARCHITECT: WILLIAM L. FISHER  
PO BOX 1395  
PALMER LAKE, CO 80133  
719-660-4356
- STRUCTURAL ENGINEER: RALPH LOCACIO  
GREEN MOUNTAIN FALLS, CO

INDEX TO DRAWINGS:

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| A1  | MAIN LEVEL FLOOR PLAN                                 |
| A2  | UPPER LEVEL FLOOR PLAN                                |
| A3  | EXTERIOR ELEVATIONS                                   |
| A4  | BUILDING SECTIONS & DETAILS                           |
| S1  | FOUNDATION DIMENSION PLAN, FLOOR & ROOF FRAMING PLANS |

SOILS REPORT & FOUNDATION DESIGN

A GEOTECHNICAL INVESTIGATION & FOUNDATION DESIGN & SPECS (STAMPED BY COLORADO REGISTERED STRUCTURAL ENGINEER) SHALL BE PROVIDED AT FIRST INSPECTION)

ZONING & PROPERTY DATA

PROPERTY ADDRESS:	10330 EL PASO AVE GREEN MOUNTAIN FALLS, CO 80819
PROPERTY OWNER'S NAME:	CRAIG A SUMNER ESTATE CORD SMITH PERSONAL REPRESENTATIVE
EPCO PROPERTY TAX NO.	8308401083
LEGAL DESCRIPTION:	LOTS 20-23 BLK 17 GREEN MOUNTAIN FALLS ADD NO 2
ZONING:	R1 10,000
DETAILED PROJECT DESCRIPTION:	GARAGE ADDITION (NEW FOOTPRINT) AND UPPER LEVEL MBR ADDITION (NO NEW FOOTPRINT)
ADJACENT ZONING & LAND USE:	R1 RESIDENTIAL

## Smith Residence Addition & Remodel

10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT 20.4.2	
DATE 08/19/20	
PHASE Permit Docs	
DRAWN WLF	
CHECKED WLF	
REV'D	

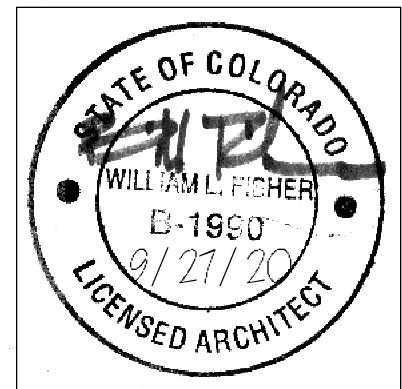
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TITLE SHEET & SITE PLAN

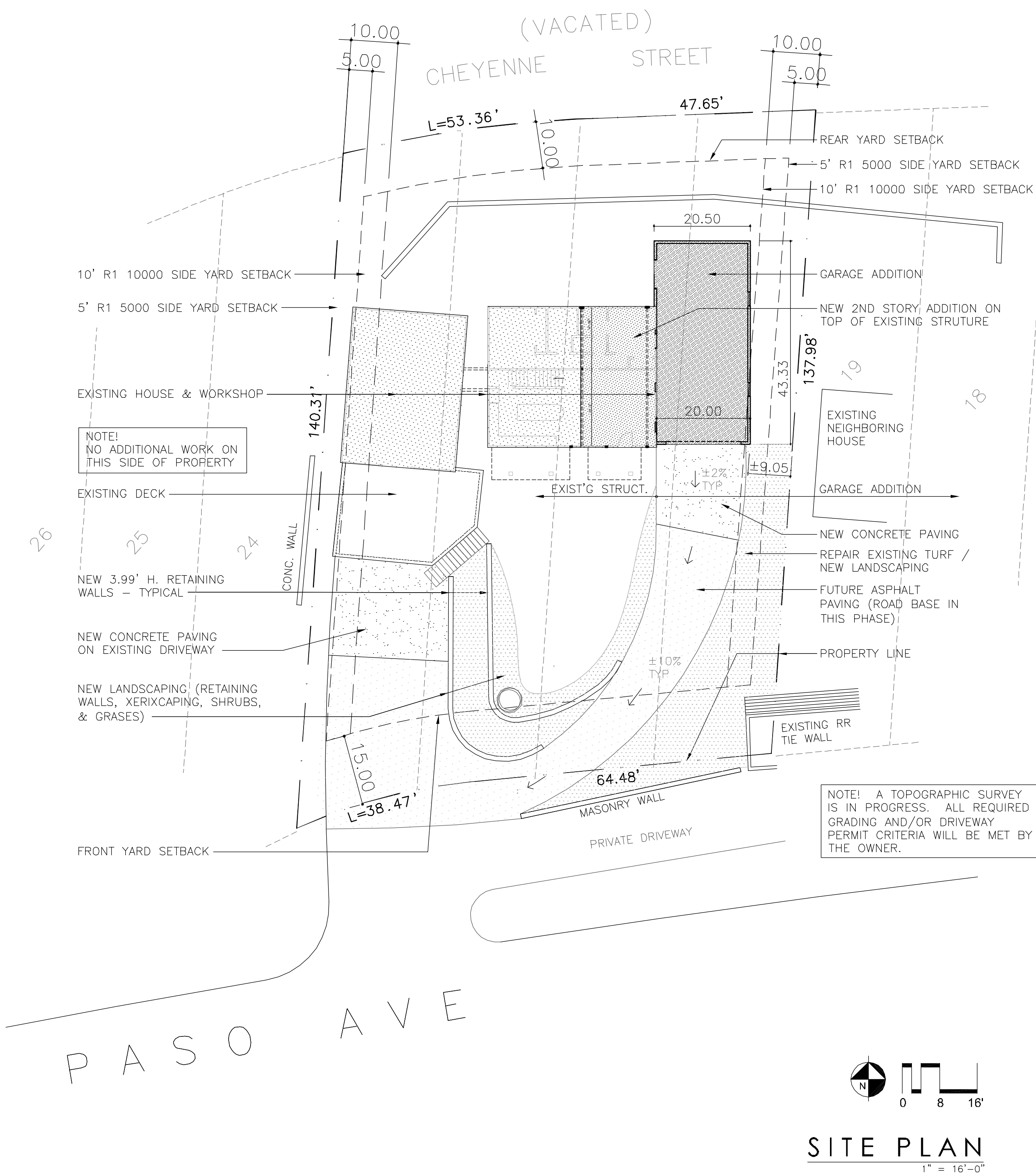


# Smith Residence Addition & Remodel

10330 El Paso Ave, Green Mountain Falls, CO 80919



fisher architecture  
palmer lake, co 719 660 4356



VICINITY MAP



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## Smith Residence Addition & Remodel

10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	09/27/20
PHASE	Permit Docs
DRAWN	WLF
CHECKED	WLF
REV'D	

SD  
1

TITLE SHEET & SITE PLAN



To: Planning Commission  
From: GMF Land Use & Planning  
Date: October 22, 2020  
Re: Variance V2020-02, SFH Addition at 10330 El Paso Avenue

---

### **Background**

The Applicant is requesting the Planning Commission's recommendation to the Board of Trustees for a Zoning Variance to build a single-family home addition on the east side of the property 9.05 feet from the property line where 10 feet is required. Town Hall received a complete variance application on September 30, 2020.

Planning Commission Recommended Actions:

- Public hearing
- Review proposed project application for compliance with Green Mountain Falls Zoning and Land Use Code
- Recommend approval, approval subject to conditions, or disapproval to the Board of Trustees

### **Discussion**

#### **Zoning Code Sec. 16-306. - R-1 10,000 Single-Family Residential District.**

The electronic file maintained by Town Hall, Official Town Zoning Map 2007, and the El Paso County Assessor's Office show the property, owned by Cord William Smith Revocable Trust, as a 13,801 SF lot zoned R-1 10,000 Single-Family Residential.

Development requirements:

- (1) Minimum lot area: ten thousand (10,000) square feet.*
- (2) Minimum frontage: one hundred (100) feet.*
- (3) Minimum lot width: one hundred (100) feet at front building setback line.*
- (4) Setback requirements:*
  - a. front, fifteen (15) feet*
  - b. side, ten (10) feet*
  - c. rear, ten (10) feet*

The proposed project does not meet the side setback requirement of ten feet, thereby requiring a variance.

#### **§16-709. - Variances**

A Variance is an extreme remedy used to overcome an exceptional physical condition of a property. The standards for a zoning variance are strict and should be reviewed for a complete understanding of §16-709. It is the responsibility of the petitioner/applicant to provide staff, Planning Commission, and Board of Trustees with the explanation and justification for a variance. The memo from Fisher Architecture dated September 27, 2020 is in the packet for



review. The following outlines the Code standards and the Applicant's responses to each of the requirements and standards. The Applicant's certified signature on the form attests they have reviewed all requirements.

*(a) No variance in the strict application of the provisions of this Land Use Code, including building requirements, signs and fences, shall be recommended by the Planning Commission or approved by the Board of Trustees unless it finds that the following requirements and standards are satisfied. It is the intent of this Article that the variance be used only to overcome some exceptional physical condition of a parcel of land located within the neighborhood which poses practical difficulty to its development and prevents its owner from using the property as intended by this Land Use Code. Any variation granted shall be the minimum adjustment necessary for the reasonable use of the land.*

Applicant's response: The garage shop component of the project contains storage space for vintage vehicles, parts, equipment, and current projects. 20' is the minimum functional width necessary to accommodate this. Additional width was desired but it was cut to 20' to meet the 5' R1 5000 setback.

*(b) The applicant must prove that the variance will not be contrary to the public interest and that practical difficulty and unnecessary hardship will result if it is not granted. In particular, the applicant shall establish and substantiate that the appeal for the variance conforms to the requirements and standards listed below:*

*(1) The granting of the variance shall be in harmony with the general purpose and intent of the regulations imposed by this Land Use Code on the district in which it is located and shall not be injurious to the neighborhood or otherwise detrimental to the public.*

Applicant's response: Nothing about the project is contrary to the public interest. Quite the contrary for the reasons stated above.

*(2) The granting of the variance will not permit the establishment of any use which is not permitted in the district.*

Applicant's response: Nothing about the project is contrary to the public interest. Quite the contrary for the reasons stated above.

*(3) There must be proof of unique circumstances. There must exist special circumstances or conditions, fully described in the findings, applicable to the land or buildings for which the variance is sought, which circumstances or conditions are peculiar to such land or buildings in the neighborhood and which circumstances or conditions are such that the strict application of the provisions of this Land Use Code would deprive the applicant of the reasonable use of such land or building.*

Applicant's response: The subject parcel and other houses in the neighborhood were apparently originally constructed with 5' setbacks prior to the adoption of the existing zoning code in the late 90's. RBD building permits in '02' and '09' carry the GMF approval stamp and R1 5000 (see Letter of Explanation that shows archive documents). No comment on the specific zone or 5' side yard. It's reasonable to assume R1 5000 was a given.

The variance is required because the Planning Dept says the property is R1 10000 (10' side yard) because it's over 10,000 sf. The Town zoning map doesn't say which R1 applies (10000 or 5000). The zoning code defines the two zones with minimum size and states: "The R-1 5,000 Single-Family Residential District is the basic residential zoning category for the existing platted lots in the Town where the principal use of land is for single-family dwellings."

*(4) There must be proof of unnecessary hardship. It is not sufficient proof of hardship to show that greater profit would result if the variance were granted. Furthermore, the hardship complained of cannot be self-created; nor can it be established on this basis by one who purchases with or without knowledge of the restrictions; it must be suffered directly by the property in question; and evidence of variances granted under similar circumstances shall not be considered.*

Applicant's response: If a zone can change over time to one with more restrictive criteria that would represent a hardship to the property and deprive the property owner of the use of his property for this project.

*(5) The granting of the variance is necessary for the reasonable use of the land or building and the variance as granted by the Board of Trustees is the minimum variance that will accomplish this purpose. The report of the Planning Commission shall fully set forth the circumstances by which this Land Use Code would deprive the applicant of any reasonable use of his or her land. Mere reasonable loss in value shall not justify a variation; there must be a deprivation of beneficial use of land.*

The benefit to the Owner is the variance allows the needed shop and garage space attached to the main house and the new master bedroom addition that increases the livability of the small residence. The benefit to the community is enhanced aesthetics as a result of renovations to the structure and new landscaping all of which improves the appearance of the property and neighborhood.

*(6) The proposed variance will not impair an adequate supply of light and air to adjacent property, substantially increase the congestion in the public streets, increase the danger of fire, endanger the public safety or substantially diminish or impair property values within the adjacent neighborhood.*

Applicant's response: The zoning code indicates existing neighborhood compatibility is a goal. The project as designed meets that criteria. The Applicant has verbal approval from the neighbors and can provide letters of support of the project from adjacent neighbors.

*(7) The granting of the variance requested will not confer on the applicant any special privilege that is denied by this Land Use Code to other lands, structures or buildings in the same district.*

Applicant's response: The actual zone designation for the subject parcel is uncertain. It is clear that it was considered R1 5000 in 2009. The size of the parcel has not changed since that time. I believe there is nothing in Town records that indicate the property is not R1 5000 which would indicate no variance is needed. Allowing the project to proceed will enable a property upgrade that represents an overall benefit to the community.

*(c) The Board of Trustees may prescribe any safeguard that it deems necessary to substantially secure the objectives of the regulations or provisions to which the variance applies.*

*(d) Upon application, the Planning Commission, after giving notice as required by law, shall schedule a public hearing of the proposed variance. The Planning Commission shall consider and decide all proposed variations, taking into account the standards enumerated above.*

*(e) Procedure. Procedures for variance hearings shall be the same as those for zoning and rezoning, with the exception of the publication requirement contained in Paragraph 16-711(f)(2) below, which shall not be required.*

Staff discussion: The Applicant's letter is required to describe how the proposed project meets the standards and why the strict application of GMF Land Use and Zoning Code would deny the landowner reasonable use of his land, as required in §16-709. Staff believes the applicant has attempted to adequately do so. However, the variance to build 9-feet from the property line- when 10 is required- is not the issue presented; rather, the zoning designation is the point of contention. In the site plan drawings, narrative explanation, and four land use approval applications, the Applicant maintains the zoning is R-1 5,000. If that were the case, the Variance would be a moot point.

It is Town Staff's position to advocate for projects that meet the standards set-forth in the Code, last updated in 1997. This particular item presents a quandary, as it appears a more appropriate solution would be a legal review and opinion by Town Attorney, which was offered, to no avail. Town Manager and Planning review and interpret what is in the Code; if there is a challenge, that is the quickest and most reasonable remedy. Staff recommends the Commission have a dialog with the petitioner and landowner about this contradiction.

Procedurally, an application, fee, and supplemental materials were received September 30, 2020. Staff is given 45 days to review but scheduled this special meeting in October to accommodate the urgent requests for a public hearing. PPRBD electronic building permit queue shows the applicant submitted plans on October 15, 2020 and are still being reviewed by the agency.

Public Works posted the required public notice sign at 10330 El Paso Avenue. No comments were received at the time this staff report was written.

### **Conclusion**

Staff has reviewed the Applicant's materials for a side yard setback variance of 9 feet where 10 feet is required and concludes the materials sufficient to consider and recommend approval- after clarification on the matter of whether the owner will be pursuing a legal review to challenge the R-1 10,000 Single Family Residential Zoning.

Staff recommends the architectural plan review, grading permit, and driveway permit are conditions that be met prior to construction.



719.660.4356 po box 1395 palmer lake co 80133

September 27, 202

Project: Cord Smith Residence Addition & Remodel  
Project Address: 10330 El Paso Ave  
Architect's Project No: 20.4.2  
Subject: Variance **Letter Of Explanation**

### **Project Description:**

The project is for the purpose of improving the property for the Owner, a long time resident of Green Mountain Falls, who will move in and occupy the renovated home as his primary residence. It includes a new Master Bedroom Suite as well as a garage / workshop that serves his vocation of restoring antique motor cars. Many of the residents of Green Mountain Falls are familiar with these works of art. The construction includes 3 building components:

- a new upper level master bedroom built on top of the existing small residence
- a small passageway joining the existing residence and workshop
- a new garage / shop

Work will include a facelift to the existing residence with new exterior cladding and other materials, new paint, and new metal roofing. This will enhance the appearance of the existing structures and tie together the existing architecture. The garage / shop includes a full glass garage door intended to show off the antique cars. Landscaping including new retaining walls, shrubs and other ground cover will be installed to accommodate the renovated structure and repair the grounds post construction. All improvements will enhance the aesthetics of the property and neighborhood.

An ILC for the property has just been completed (dated 9/26/20). This document indicates a shift from where previous corner pins were shown. Consequently the distance from the new garage/shop to the existing property is 9.05 ft. A variance request, if needed, is for 0.95' (11 3/8").

### **Reason For Variance:**

The garage shop component of the project contains storage space for vintage vehicles, parts, equipment, and current projects. 20' is the minimum functional width necessary to accommodate this. Additional width was desired but it was cut to 20' to meet the 5' R1 5000 setback. The issue of this setback is further discussed below.



The variance is required because the Planning Dept says the property is R1 10000 (10' side yard) because it's over 10,000 sf. The Town zoning map doesn't say which R1 applies (10000 or 5000). The zoning code defines the two zones with *minimum* size and states:

*"The R-1 5,000 Single-Family Residential District is the basic residential zoning category for the existing platted lots in the Town where the principal use of land is for single-family dwellings."*

If a zone can change over time to one with more restrictive criteria that would represent a hardship to the property and deprive the property owner of the use of his property for this project.

The zoning code indicates existing neighborhood compatibility is a goal. The project as designed meets that criteria. The Applicant has verbal approval from the neighbors and can provide letters of support of the project from adjacent neighbors.

#### Conclusion:

The actual zone designation for the subject parcel is uncertain. It is clear that it was considered R1 5000 in 2009. The size of the parcel has not changed since that time. I believe there is nothing in Town records that indicate the property is not R1 5000 which would indicate no variance is needed. Allowing the project to proceed will enable a property upgrade that represents an overall benefit to the community.



719.660.4356

po box 1395

palmer lake co

80133

www.fisharch.com

Sept 10, 2020

To: Green Mountain Falls Planning Commission – Todd Dixon Chair  
 Project Address: Addition & Remodel 10330 El Paso Ave  
 Subject: Applicable Zoning

Dear Chairman Dixon and Green Mountain Falls Planning Commissioners:

Thank you for the opportunity to clarify zoning for the subject project. GMF's Zone Map indicates R1 Zone for the subject property but not which R1 zone. Application of R1 10000 to the property is staff interpretation. I believe there are no Town records that indicate this zone applies. There is evidence that R1 5000 applies. I don't think the PC was made to understand this.

The subject parcel and other homes in the neighborhood are physically constructed to the R1 5000 5' side yard standard. RBD building permits in '02' and '09' carry the GMF approval stamp indicating the property is R1 5000. During the Planning Commission meeting the site plan for the 09 addition with the 5' side yards was shown. Not shown was the approval page in that document that indicates R1 5000 with the GMF approval stamp on the right:

**RESIDENTIAL**

Resubmittals: 1st \_\_\_\_\_ 2nd \_\_\_\_\_ 3rd \_\_\_\_\_

Address: 10330 EL PASO AVE, GREEN MOUNTAIN FALLS

Plan Track #: 54716 Received: 17-Sep-2009 (MARY)

Description: **GARAGE ADDITION**

Contractor: HOMEOWNER

Permit # 407646 Zone R-1 5000 City County Green Mountain Falls, Co

APPROVED FOR CONSTRUCTION

Date 9/30/09 By [Signature]

Type of Unit:

Parcel: 8308401083

Required Departments (3)

	App	Dis	N/A	By
Floodplain	X			9/21/09
Zoning/Planning				
Construction	X	X		9/23/09

9/21/09 NO WALK THRU

*See plan for [Signature]*

PC Meeting minutes associated w/ this approval are excerpted below:

**TOWN OF GREEN MOUNTAIN FALLS  
 PLANNING COMMISSION MEETING  
 MINUTES OF REGULAR MEETING - TUESDAY, AUGUST 25, 2009**

The meeting was called to order by Chairman Kosley at 6:00 p.m.

**ATTENDANCE:** Turnbull - present Lowndes, John - present  
 Lowndes, Patty - present  
 (alternate)

**APPROVE MINUTES FROM AUGUST 11, 2009** M/S Turnbull/Lowndes, John to approve the minutes as submitted. All yea

**RESUBMITTAL OF PLANS FROM 7/9/02 - Addition to Existing Garage: Second Level, Carport - 10330 El Paso Street** - Property owner, Craig Sumner was present and stated that there were no changes to the plans as he presented to the commissioners in 2002. No work on the project took place after the plans were approved by Planning Commission. Engineer, Ralph LoCascio is performing a new soils test. LoCascio will put current dates and certification stamps on the plans that will go forward to Regional Building. Sumner will bring those plans into the town clerk for signature. The commissioners did ask that the project be completed three months from the start date. Sumner would need to request an extension from the commissioners should he need a longer period of time.

**M/S Turnbull/Lowndes, John to approve the construction project as presented by property owner, Craig Sumner. All yea**

No comment on the specific zone or 5' side yard. It's reasonable to assume R1 5000 was a given.



GMF Planning told us the R1 10,000 zone definition is a parcel over 10,000 square feet - why this zone applies to our parcel. But this definition isn't in the Code. It only refers only to *minimum* size and specifically states:

*"The R-1 5,000 Single-Family Residential District is the basic residential zoning category for the existing platted lots in the Town where the principal use of land is for single-family dwellings."*

It also says existing neighborhood compatibility is a goal and the PC is responsible for clarifying discrepancies. There is no mention of zones changing over time with parcel ownership changes. I had hoped PC would clarify this discrepancy last night but I was not given the opportunity to get pertinent information to you.

We offer this in response to your request for additional information. Beyond this, I'm not sure how we can help you clarify the discrepancies in your zoning ordinance and map other than involving an attorney well-versed in this area to help clarify your zoning code? There is no evidence I am aware of, or that was shared with us, no Town record, nor zoning map that shows the property as R1 10000. There is evidence that R1 5000 applies to the property.

We are not trying to avoid fees – just time lost. Our communication failure with Planning resulted in the variance submittal not being placed on the August agenda. I was unaware of this until the time of that meeting. This cost us a month. We then discovered the evidence of R1 5000 zoning which indicates no variance is needed. We could resubmit the variance documents already prepared and pay that fee if that's what you need us to do. Our primary argument, however, is that we're R1 5000 and no variance is needed. If you do feel we need to process a variance then Green Mountain Falls must provide tangible proof that the property is R1 10,000 so we may adequately formulate our justifications.

The Town Planner has forwarded us the grading permit application. We have been waiting on the surveyor for an ILC and topographic info needed to complete the grading plan. We will submit the application, plan, and associated fees for this asap so we may proceed prior to inclement weather. This grading / landscaping / retaining wall (<4' high) work is unrelated to the addition and needs to be completed regardless of the final determination on the land use permit.

Sincerely,

A handwritten signature in black ink, appearing to read 'W. Fisher', followed by a long horizontal line.

William L. Fisher, RA LEED ap

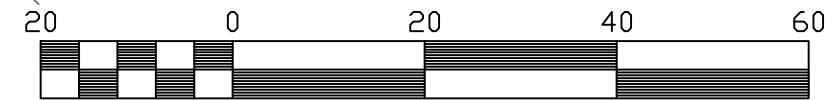
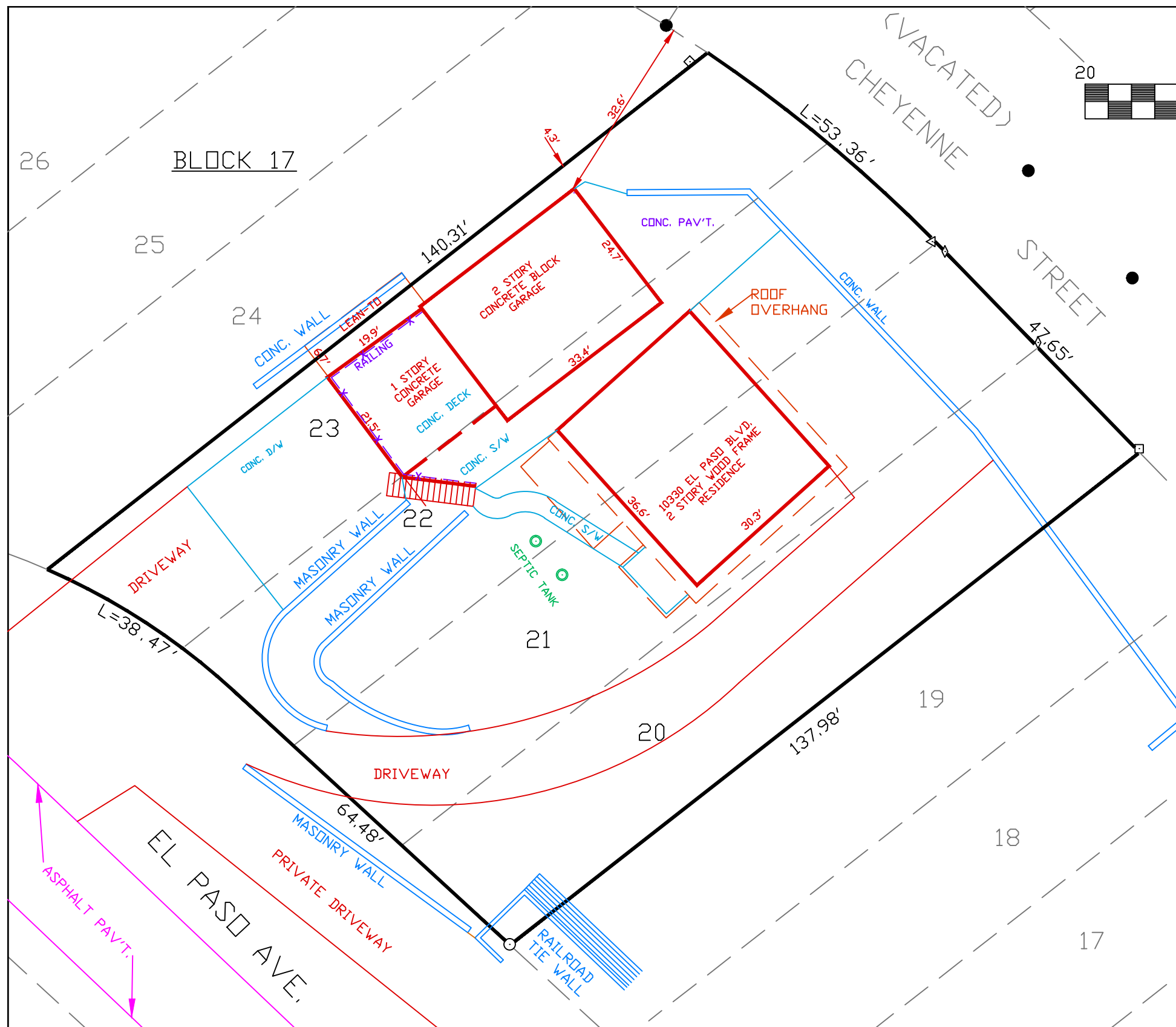
cc

Cord Smith

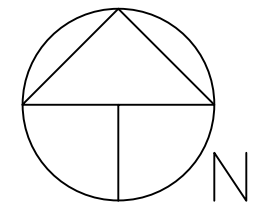
Julia Simmons

Jane Newberry





Scale 1" = 20'



### IMPROVEMENT LOCATION CERTIFICATE

Title information was not provided by the client  
This survey does not constitute a title search or opinion.

Legal description: Lots 20-23 inclusive, Block 17, Green Mountain Falls Addition No. 2

I hereby certify that this Improvement Location Certificate was prepared for, Cord Smith, that it is not a land survey plat or improvement survey plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines. I further certify that the improvements on the above described parcel on this date, September 25, 2020 except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

September 25, 2020

Oliver E. Watts Colo PE-LS 9853 Date  
For and on behalf of Oliver E. Watts, Consulting Engineer, Inc.  
614 Elkton Drive Colorado Springs, CO 80907 (719) 593-0173  
olliewatts@aol.com  
Celebrating over 41 years in business

DRAWN BY: O.E. WATTS

DATE: 9-23-20

DWG. NO.: 20-5520-03

THRU 9-25-20

SURVEYED BY: DVF, GG, 1987 DEW, ESW

REVISIONS

OLIVER E. WATTS  
CONSULTING ENGINEER  
COLORADO SPRINGS

PROJECT

10330 EL PASO BOULEVARD  
LOTS 20-23  
ADD. NO. 2 TO GREEN MTN. FALLS  
EL PASO COUNTY, COLORADO

SHT. NAME

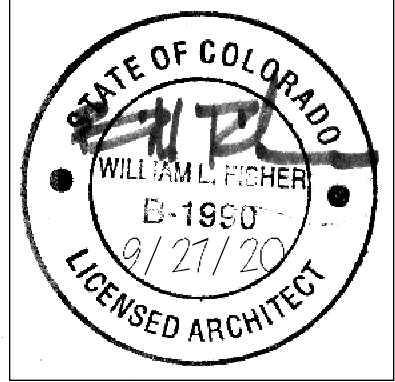
IMPROVEMENT  
LOCATION  
CERTIFICATE

SHT. NO.

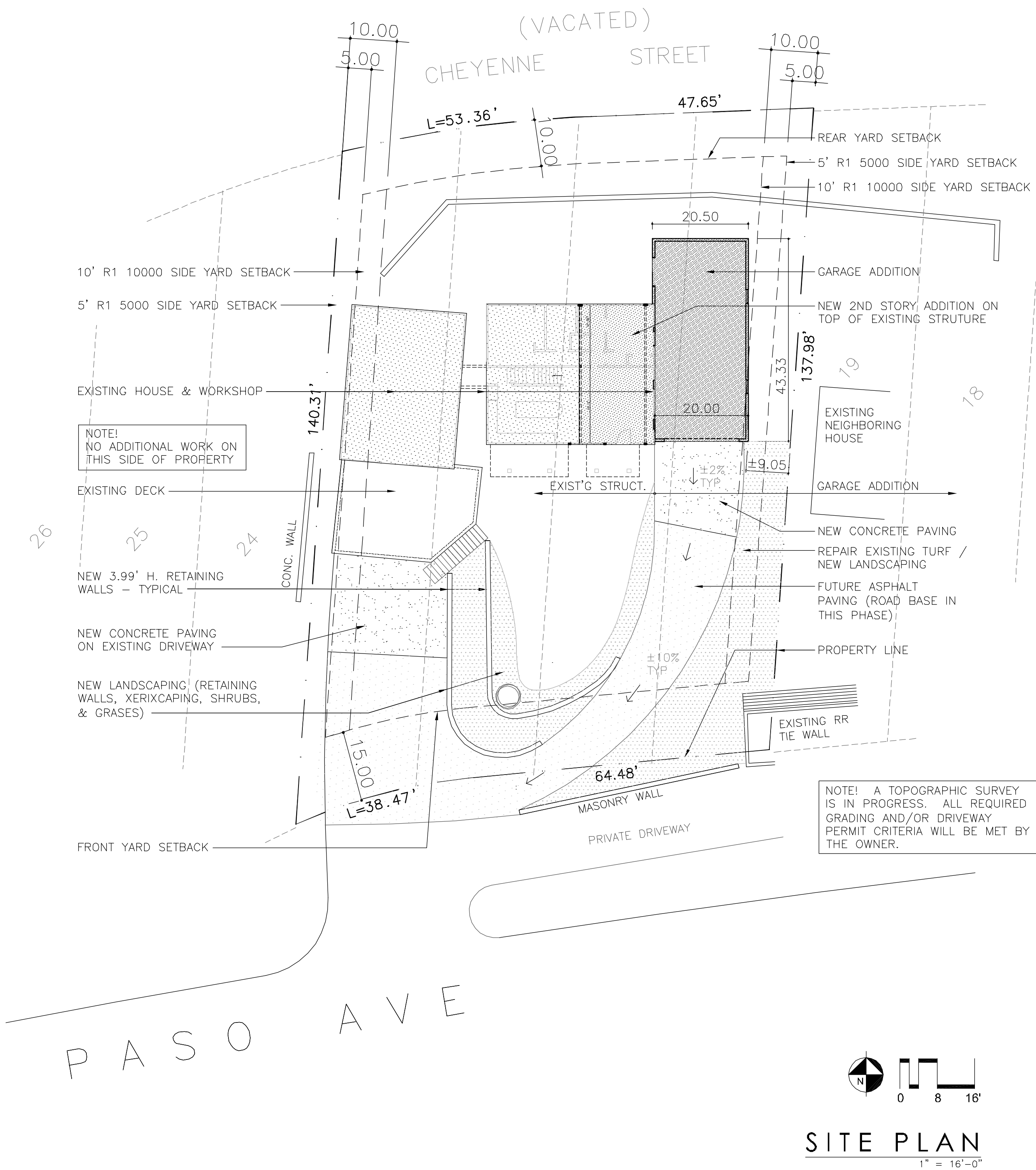
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10330 El Paso Ave, Green Mountain Falls, CO 80919



fisher architecture  
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VICINITY MAP



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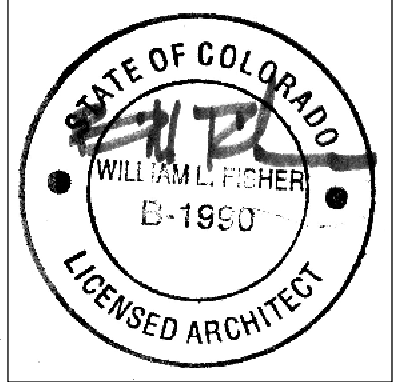
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	09/27/20
PHASE	Permit Docs
DRAWN	WLF
CHECKED	WLF
REV'D	

SD  
1

TITLE SHEET & SITE PLAN





fisher architecture  
palmer lake, co 719 660 4356

Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	09/19/20
PHASE	Permit Docs
DRAWN	WLF
CHECKED	WLF
REV'D	

A  
1

## LOWER LEVEL FLOOR PLAN

1/4" = 1'-0"

### KEY NOTES:

- REMOVE EXG WDW & WALL BELOW. PROVIDE NEW 20 MIN. INSUL. HOLLOW MTL DOOR
- REMOVE EXISTING WINDOW. FILL IN OPENING W/ NEW STUDS, R15 INSULATION, & DRYWALL EA. SIDE.
- NEW BRIDGE ABOVE
- CENTER NEW INSULATED HOLLOW METAL DOOR OPENING ON EXISTING RAFTERS
- REMOVE PORTION OF EXISTING WALL AND PROVIDE NEW HEADER ABOVE. NEW BRIDGE FLOOR FLUSH W/ EXG BOTH SIDES W/ VINYL TRANSITION STRIP @ FLOORING CHANGE
- CLOSET RODS, SHELVES, DRAWER UNITS, RACKS, ETC. CONFIG PER OWNER
- EXTEND NEW BRIDGE WALLS TO EXISTING SLOPED GAMBREL ROOF DECK. PROVIDE NEW ROOF FLASHING.
- NEW METAL ROOFING TO MATCH EXISTING
- REMOVE EXG WDW & WALL BELOW. NEW TRIM HEAD & JAMBS.
- REMOVED EXG EXT SIDING, CLEAN SHEATHING & OVERLAY W/ NEW DRYWALL
- DEMO. EXG ROOF. RETAIN EXG CEILING STRUCTURE AND DRYWALL BELOW. SISTER NEW FLOOR JOISTS - SEE STRUCT. DRAWINGS.
- DEMO EXG STUD WALL AS REQ'D TO PROVIDE NEW GANG STUD COLUMNS AND GROUT CELLS SOLID IN EXG CMU FOUNDATION WALL. SEE STRUTURAL DRAWINGS.
- WOOD TRIM ON NEW DROPPED BEAM ABOVE.
- EXISTING METAL ROOFING BELOW
- REMOVE EXISTING AND PROVIDE NEW FIREPLACE: ICBO/UL APPROVED (TAGS TO BE VISIBLE AT TIME OF INSPECTION). GC VERIFY & PROVIDE ALL REQ'D FRAMING AND VENTING LOCATIONS & CLEARANCES

### R VALUE DATA (ZONE 5):

	IECC req'd	PROVIDED	TYPE	THICKNESS (NOM)
FLOORS ABOVE UNCONDITIONED SPACE	R30	R38	BATTS	12"
EXTERIOR STUD WALLS	R20	R21	HIGH R BATTS	5.5"
ROOF CAVITY (VAULTED)	R49	R49	CLOSED CELL FOAM	±7"
ROOF CAVITY (NRG HEEL)	R38	R38	BATTS W/ BAFFLES	±12"
DOORS & WINDOWS	U0.32	0.29	LOW E CLAD WD	-

### FLOOR PLAN LEGEND

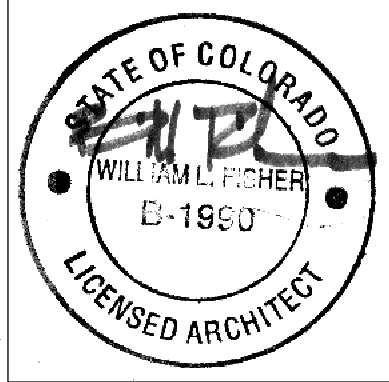
- ROOM FINISH KEY:
- FLOOR MATERIAL
- RM FINISH REMARKS
- DOOR SIZE (ACTUAL) WxHT (30=3'-0", 68=6'-8", etc)
- EXG DOORS TO REMAIN
- DEMO EXG WALLS, FIXTURES, ETC.
- EXG WALLS TO REMAIN
- NEW GYP BD STUD WALLS: 2x6's W/ R21 BATTS EXT - 2x4's INT
- SMOKE DETECTOR / CO ALARM
- FROST PROOF HOSE BIB
- WINDOW W, HT, & TYPE (26=2'-6", 40=4'-0" etc)
- BATHROOM EXH. FAN (REPLACE EXG)
- CARPET
- HARDWOOD FLOORING
- CASEMENT WINDOW
- AWNING WINDOW
- FIXED / PICTURE WINDOW
- UNLESS OTHERWISE NOTED
- EXISTING
- TEMPERED GLASS
- WINDOW
- OPENING
- CPT
- HW
- CAS
- AWN
- FIX
- UON
- EXG
- TEMP
- WDW
- OPG
- 2640 CAS
- 1 A6

### GENERAL NOTES:

- ALL NEW & EXG WALLS & CEIL'S ARE PAINTED GYP. BD. TEXTURED TO MATCH EXG. FLUSH NEW & EXG SURFACES.
- PAINT ALL EXG DRYWALL THROUGHOUT UON.
- NEW & EXG DOORS, TRIM, & BASE PROFILES & FINISHES SHALL MATCH
- WINDOWS ARE LOW E INSUL GLASS IN VINYL FRAMES. VERIFY ALL R.O. SIZES.

### ROOM FINISH REMARKS

- NEW INT. FINISHES, CAB'S, & MINOR MECH & ELECT REV'S. ONLY IN THIS AREA
- NEW DRYWALL CEILING ABOVE WHERE EXISTING ROOF DEMO OCCURS.
- CUSTOM BUILT-IN CAB'S BY OWNER
- VAULTED DRYWALL CEILING IN THIS ROOM



fisher architecture  
palmer lake, co 719 660 4356

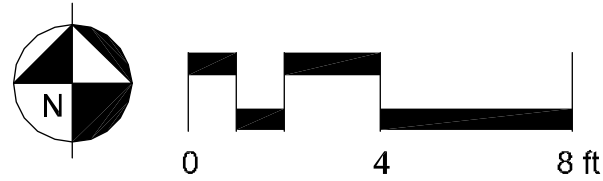
Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
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REV'D	

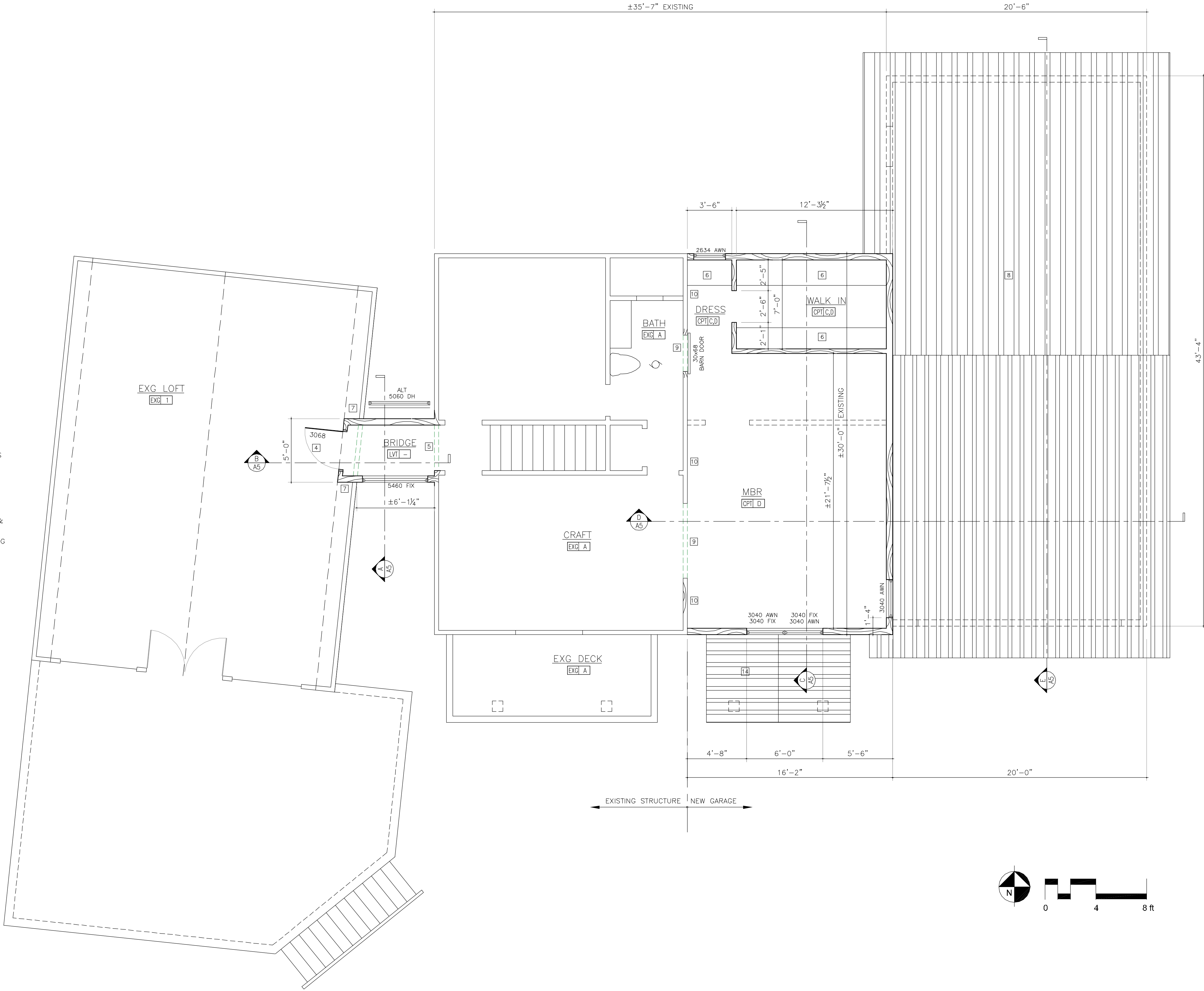
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## UPPER LEVEL FLOOR PLAN

1/4" = 1'-0"



EXISTING STRUCTURE NEW GARAGE



### KEY NOTES:

- REMOVE EXG. WDW & WALL BELOW. PROVIDE NEW 20 MIN. INSUL. HOLLOW MTL DOOR
- REMOVE EXISTING WINDOW. FILL IN OPENING W/ NEW STUDS, R15 INSULATION, & DRYWALL EA. SIDE.
- NEW BRIDGE ABOVE
- CENTER NEW INSULATED HOLLOW METAL DOOR OPENING ON EXISTING RAFTERS
- REMOVE PORTION OF EXISTING WALL AND PROVIDE NEW HEADER ABOVE. NEW BRIDGE FLOOR FLUSH W/ EXG BOTH SIDES W/ VINYL TRANSITION STRIP @ FLOORING CHANGE
- CLOSET RODS, SHELVES, DRAWER UNITS, RACKS, ETC. CONFIG PER OWNER
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- DEMO. EXG ROOF. RETAIN EXG CEILING STRUCTURE AND DRYWALL BELOW. SISTER NEW FLOOR JOISTS - SEE STRUCT. DRAWINGS
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- WOOD TRIM ON NEW DROPPED BEAM ABOVE.
- EXISTING METAL ROOFING BELOW
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### FLOOR PLAN LEGEND

#### ROOM FINISH KEY:

- FLOOR MATERIAL
- DOOR SIZE (ACTUAL) WxHT (30=3'-0", 68=6'-8", etc)
- EXG DOORS TO REMAIN
- DEMO EXG WALLS, FIXTURES, ETC.
- EXG WALLS TO REMAIN
- NEW GYP BD STUD WALLS: 2x6's W/ R21 BATTS EXT - 2x4's INT
- SMOKE DETECTOR / CO ALARM
- FROST PROOF HOSE BIB
- WINDOW W, HT, & TYPE (26=2'-6", 40=4'-0" etc)
- BATHROOM EXH. FAN (REPLACE EXG)
- CARPET
- HARDWOOD FLOORING
- CASEMENT WINDOW
- AWNING WINDOW
- FIXED / PICTURE WINDOW
- UNLESS OTHERWISE NOTED
- EXISTING
- TEMPERED GLASS
- WINDOW
- OPENING

### GENERAL NOTES:

- ALL NEW & EXG WALLS & CEIL'S ARE PAINTED GYP. BD. TEXTURED TO MATCH EXG. FLUSH NEW & EXG SURFACES.
- PAINT ALL EXG DRYWALL THROUGHOUT UON.
- NEW & EXG DOORS, TRIM, & BASE PROFILES & FINISHES SHALL MATCH
- WINDOWS ARE LOW E INSUL GLASS IN VINYL FRAMES. VERIFY ALL R.O. SIZES.

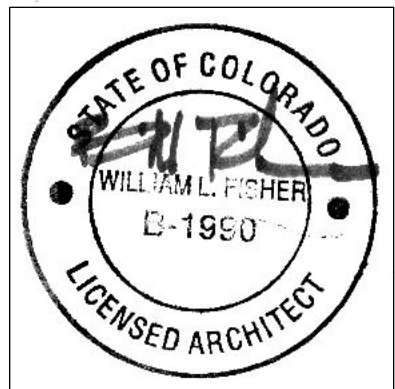
### ROOM FINISH REMARKS

- NEW INT. FINISHES, CAB'S, & MINOR MECH & ELECT REV'S. ONLY IN THIS AREA
- NEW DRYWALL CEILING ABOVE WHERE EXISTING ROOF DEMO OCCURS.
- CUSTOM BUILT-IN CAB'S BY OWNER
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### R VALUE DATA (ZONE 5):

IECC req'd	PROVIDED	TYPE	THICKNESS (NOM)
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fisher architecture  
palmer lake, co 719 660 4356

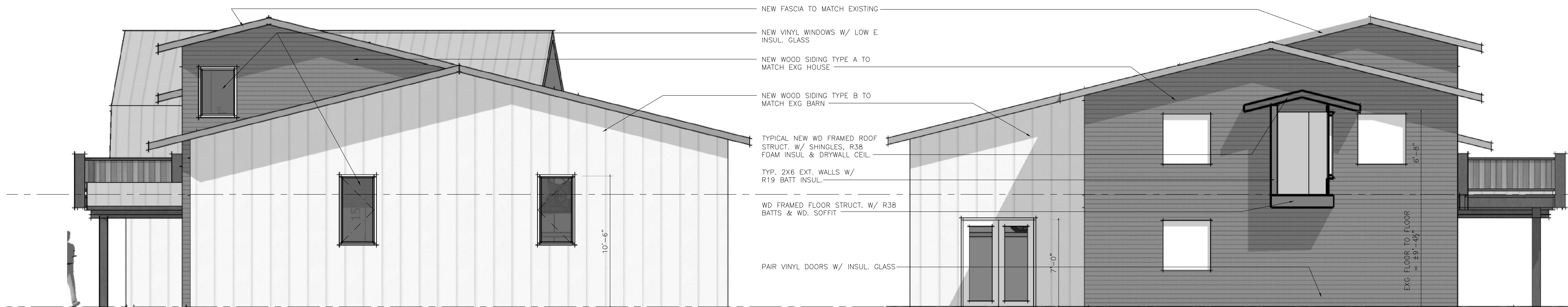
Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	08/19/20
PHASE	Permit Dwg
DRAWN	WLF
CHECKED	WLF
REV'D	

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3



SOUTH ELEVATION



EAST ELEVATION

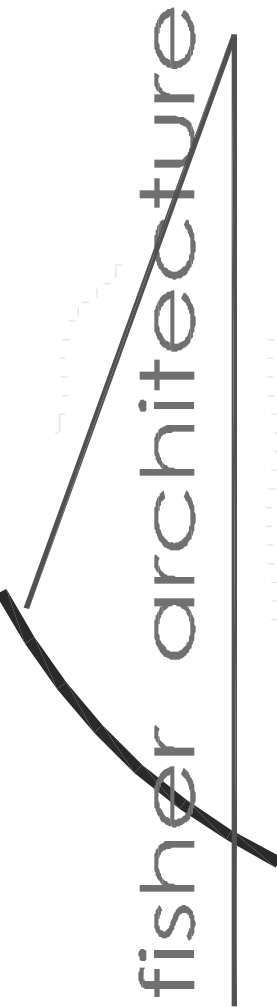
WEST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS

1/4" = 1'-0"



10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT 20.4.2  
DATE 08/19/20  
PHASE Permit Dwg's  
DRAWN WLF  
CHECKED WLF  
REV'D .

# A4


$$\overline{1/4''} = 1'-0''$$

© FISHER ARCHITECTURE



To: The Green Mountain Falls Planning Commission

Regarding the new addition at 10330 El Paso Ave, Green Mountain Falls, I Cord Smith, the Owner am planning to add a drive and garage WITH entrance next to 10320 El Paso Ave. I now understand the Green Mountain Falls Planning Commission needs a 10 foot set back instead of a 5'0" set back. Therefore, I'm asking my neighbors if they are okay with me moving forward with a 5'0" set back with your signatures below. I will then give this document to the Planning Commission, my purpose being to assist them in this process.

Thank you so very much, I truly appreciate you.

Cord Smith Cord Smith Date 9/30/2020

WE HEREBY GIVE OUR APPROVAL, AND SIGNATURE(S) TO THE ABOVE SET BACK REQUEST

The Home this set-back affects: Showalter Robert (Te) and Showalter Doris 3 (Te)  
Owner of 10320 El Paso Ave. Green Mountain Falls CO 80819  
8803 E. Arlington Rd., Haven, Ks 67543 67543-8211

C. B. Showalter - Son, Executor of the Will CB Showalter Trust Date 10-9-20

Other adjacent neighbors:

Owner of 10340 El Paso Ave., Green Mtn. Falls CO 80819-0374

By Velma Kreiger Velma Kreiger Date 9/30/20

Owner of 10318 El Paso Avenue, Green Mountain Falls, CO 80819, Smith Cord W Trust

By Cord Smith Cord W. Smith Date 9/30/2020

Owner of 10318 Cheyenne Street, Green Mountain Falls, CO 80819

By Arthur Krisak, AK Date 9-30-2020

Owner of 10340 Cheyenne Street, Green Mountain Falls, CO 80819-0421

By Karen Watson Karen Watson Date 9/30/2020

Owner of 10310 El Paso Avenue, Green Mountain Falls, CO 80819-5023

By Linda K. Chamberlain Linda K Chamberlain Date 9/30/2020







To: Planning Commission  
From: GMF Land Use & Planning  
Date: October 23, 2020  
Re: Grading Permit GR2020-02 at 10330 El Paso Avenue

---

### **Background**

The Applicant is requesting the Planning Commission's review and consideration of a Grading Permit for the construction of a SFH addition, garage, and driveway and driveway at 10330 El Paso Avenue. Town Hall received a Grading and Erosion Control Plan application with administrative fee of \$200 on September 30, 2020. A site plan was received October 8, 2020.

### **Discussion**

#### **Section 17 Article V, Grading**

The purpose of the subdivision code for grading, **Section 17-81**, enumerates the Town's policy for grading permits, which is to protect the health, welfare, and safety of citizens against the potential damage caused by erosion from earth disturbing activities.

Intent of **§17-82** states the section is to implement the Comp Plan and the LU Code by supplementing "*subdivision regulations and the zoning ordinance by prescribing standards and criteria for judging how a development will actually affect the terrain, drainage or vegetation, etc., immediately before construction is to take place or minerals and material are to be removed.*"

Grading permit and erosion control plan (ECP) rules established from Ordinance 03-2011, **§17-83**: *An erosion control plan shall be prepared for all land-disturbing activities of three hundred (300) square feet or fifty (50) cubic yards or more, whichever is applicable, using the grading plan as a base.*

This is followed by the exceptions to the grading permit (**§17-84**):

1. *An excavation by the Town for the purpose of maintenance of Town utilities, streets or easements; or*
2. *An excavation by a private individual for the purpose of routine maintenance.*

Procedurally, **§17-85** refers to grading and erosion control plans being submitted directly to the Planning Commission ten days before a regular meeting. The PC reviews submitted drawings and *may approve, disapprove, table, or conditionally approve all such applications.*

The development details, outlined in **§17-87**, include an extensive and explicit list of requirements for the grading plan, which is reiterated in the Grading Plan Application Checklist, provided on the GMF Website and included as a separate attachment for PC review.

The Planning Commission may issue a grading permit with conditions, per **§17-90**, which includes hours and season of operation, restrictions on equipment and routes, and other project-specific details.

### **Staff Discussion**

This ordinance of the subdivision rules, originally written as Ordinance 7-1984, has been amended as necessary in 1985, 2003, 2011, 2018. Its extensive language and stringent requirements point to an existing setting where residential construction is built on parcels off gravel roads and can be found on 30 percent slope- proximate to perennial waterways and two creeks. The subject property, however, is on a relatively flat lot, in a portion of town where the main ROW is paved. The portion of the lot, to the north, designated Hillside Overlay will be left unchanged.

Grading site plan illustrates contours for a new driveway to access the proposed garage being reviewed under PR2020-17 and V2020-02. In addition, two new retaining walls (3.99' H, unknown L), new concrete paving at the existing structure (unknown length and width), new concrete paving south of the proposed structure (unknown length and width), and a gravel driveway (unknown length and width) that will include asphalt paving at a future date.

A letter of explanation was not included. The Commission has the opportunity to receive clarification during the public hearing on any outstanding details.

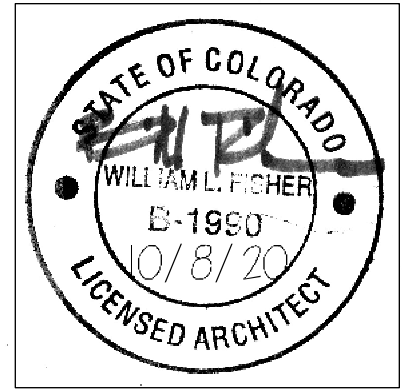
The subdivision regulation states an ECP shall be prepared for all land-disturbing activating of 300SF or 50 CY , then goes on to allow a condition for that requirement in Section **17-92(b)**, which allows the Town to waive the submission of an ECP if upon inspection, a determination is made that the site does not have the potential to cause erosion of off-site damage. Given the level of liability off-site erosion could have on adjacent properties, Town ROW, or the waterway, neither Town Manager nor Town Planner is willing to make determinations typically reserved for engineering professionals.

Through the public hearing and act of reviewing the plans, the Commission will be able to receive input from the architect, structural engineer, or homeowner/contractor, on amount (square feet and cubic yard) earth disturbance and whether the grading and paving would have an impact.

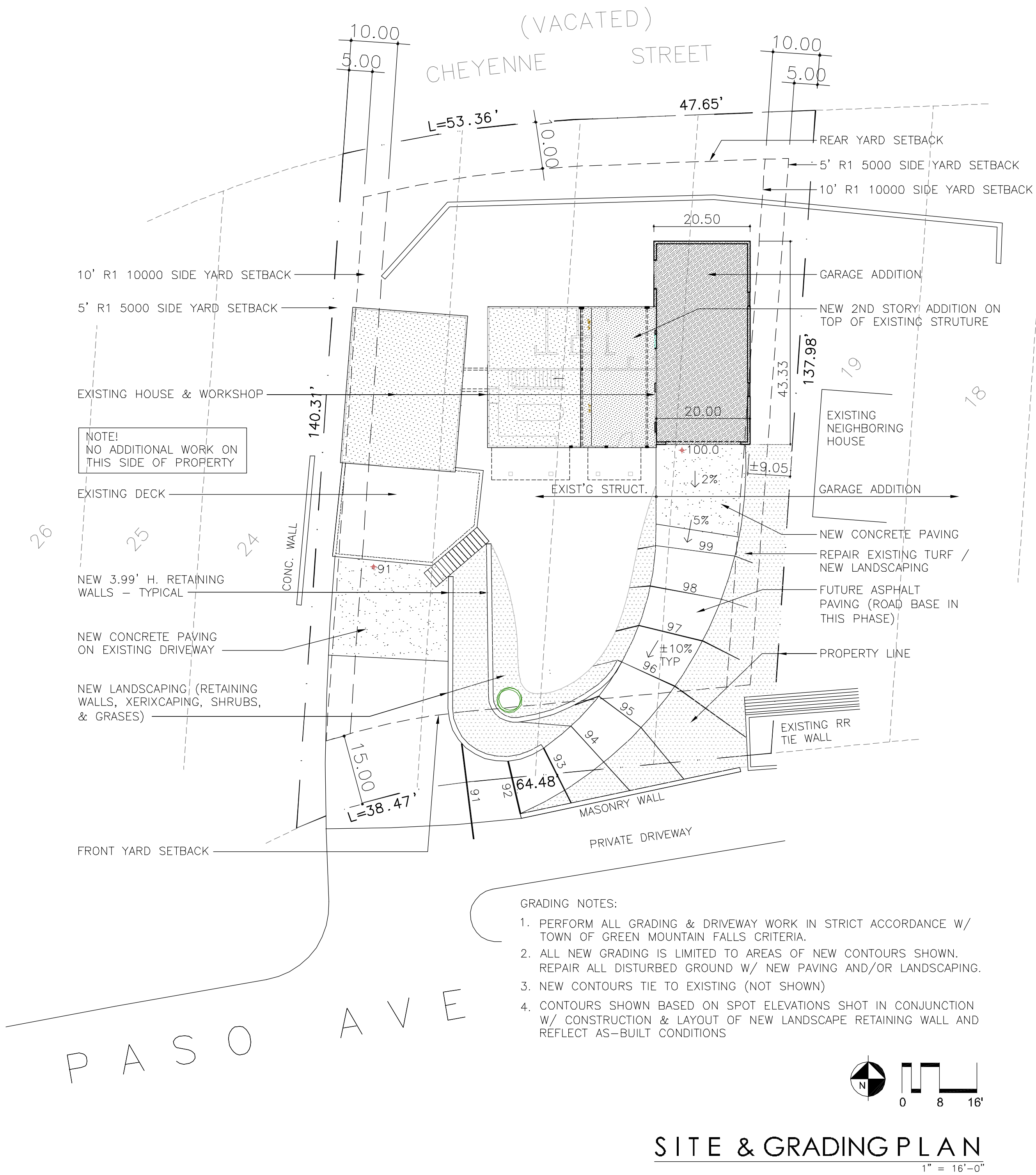


# Smith Residence Addition & Remodel

10330 El Paso Ave, Green Mountain Falls, CO 80919



fisher architecture  
palmer lake, co 719 660 4356



VICINITY MAP



INDEX TO DRAWINGS:

SD1	TITLE SHEET, SITE PLAN, GENERAL PROPERTY INFORMATION
A1	MAIN LEVEL FLOOR PLAN
A2	UPPER LEVEL FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS & DETAILS
S1	FOUNDATION DIMENSION PLAN, FLOOR & ROOF FRAMING PLANS
SOILS REPORT & FOUNDATION DESIGN	
A GEOTECHNICAL INVESTIGATION & FOUNDATION DESIGN & SPECS (STAMPED BY COLORADO REGISTERED STRUCTURAL ENGINEER) SHALL BE PROVIDED AT FIRST INSPECTION)	

GENERAL NOTES

1. ALL WORK PER 2017 PPRBC
2. NOTIFY ARCHITECT IMMEDIATELY IF ACTUAL CONDITIONS DO NOT REFLECT THOSE SHOWN ON THE DRAWINGS.
3. FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO ORDERING OR FABRICATING MATERIALS OR OTHERWISE COMMENCING THE WORK.
4. G.C. COORD. ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK AND THE WORK OF ALL OTHER TRADES AND PERFORM ALL NECESSARY COORDINATION TO ASSURE ALL COMPONENTS OF CONSTRUCTION ARE PROPERLY ASSEMBLED, PROFESSIONALLY INSTALLED, FULLY FUNCTIONAL & IN WORKING ORDER, AND FREE OF DEFECTS.
5. PERFORM ALL WORK IN STRICT ACCORDANCE W/ ALL APPLICABLE CODES AND STATUTES.
6. VERIFY THE EXISTENCE AND LOCATION OF ALL MECH, ELECT, & UTILITIES PRIOR TO PERFORMING ANY DEMO WORK AND PROTECT SAME FROM HARM.
7. ALL FINAL MATERIAL, FINISH & COLOR SELECTIONS PER OWNER.
8. ARCHITECT: WILLIAM L. FISHER  
PO BOX 1395  
PALMER LAKE, CO 80133  
719-660-4356
9. STRUCTURAL ENGINEER: RALPH LOCACIO  
GREEN MOUNTAIN FALLS, CO

ZONING & PROPERTY DATA

<u>PROPERTY ADDRESS:</u>	10330 EL PASO AVE GREEN MOUNTAIN FALLS, CO 80819
<u>PROPERTY OWNER'S NAME:</u>	CRAIG A SUMNER ESTATE CORD SMITH PERSONAL REPRESENTATIVE
<u>EPCO PROPERTY TAX NO.</u>	8308401083
<u>LEGAL DESCRIPTION:</u>	LOTS 20-23 BLK 17 GREEN MOUNTAIN FALLS ADD NO 2
<u>ZONING:</u>	R1 PER GMF ZONING MAP R1 10,000 PER GMF PLANNING INTERPRETATION R1 5000 PER HISTORICAL RECORDS
<u>DETAILED PROJECT DESCRIPTION:</u>	GARAGE ADDITION (NEW FOOTPRINT) AND UPPER LEVEL MBR ADDITION (NO NEW FOOTPRINT)
<u>ADJACENT ZONING &amp; LAND USE:</u>	R1 RESIDENTIAL

TITLE SHEET & SITE PLAN

Smith Residence  
Addition & Remodel  
10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	10/8/20
PHASE	Permit Docs
DRAWN	WLF
CHECKED	WLF
REV'D	

SD  
1



## ARTICLE V - Grading

## Sec. 17-81. - Purpose.

The purpose of this Article is to protect the health, safety and welfare of the citizens of the Town by:

- (1) Ensuring that the development of each site occurs in a manner harmonious with adjacent lands so as to minimize problems of drainage, erosion, earth movement and similar hazards, as well as visually unpleasant relationships;
- (2) Ensuring that the planning, design and construction of a development will be done in a manner which provides both maximum safety and human enjoyment while making it as unobtrusive in the natural terrain as possible;
- (3) Ensuring, insofar as is practical in permitting reasonable development of land and minimizing fire hazard, the maximum retention of natural vegetation to aid in protection against erosion, earth movement and other similar hazards and to aid in the preservation of the natural and scenic qualities of the Town;
- (4) Reducing air pollution caused by dust blown from areas under development; and
- (5) Preventing the premature cutting of roads and building sites in all areas of the Town.

(Ord. 7-1984)

## Sec. 17-82. - Relationship to other ordinances.

The ordinance codified in this Article is intended to help implement the Comprehensive Plan and Land Use Code of the Town. In that regard, it supplements the subdivision regulations and the zoning ordinance by prescribing standards and criteria for judging how a development will actually affect the terrain, drainage or vegetation, etc., immediately before construction is to take place or minerals and material are to be removed.

(Ord. 7-1984)

## Sec. 17-83. - Grading permit and erosion control plan; when required.

An erosion control plan shall be prepared for all land-disturbing activities of three hundred (300) square feet or fifty (50) cubic yards or more, whichever is applicable, using the grading plan as a base. It may be possible to combine the grading and erosion control plans. No person shall commence or proceed with any modification of the natural terrain without seeking and obtaining a grading permit from the Planning Commission if such modification will result in any of the following:

- (1) An excavation, fill or combination thereof, in excess of fifty (50) cubic yards;
- (2) An excavation which, at its greatest depth, will be three (3) or more feet below the surface of the ground over an area of three hundred (300) square feet or more;
- (3) A fill which, at its greatest depth, will be three (3) or more feet above the surface of the ground over an area of three hundred (300) square feet or more;
- (4) An excavation or fill which falls within a public sewer, water main, storm drainage, power line, public right-of-way or any other public utility easement. This includes the preparation of roads, sidewalks, etc.;
- (5) Vegetation removal over an area of three hundred (300) square feet or more;
- (6) Mining, quarrying or gravel operations;
- (7) Any excavation by the Town, except those excluded under exemptions; and

(8) Any surfacing, resurfacing or paving.

(Ord. 7-1984; Ord. 3-1985 §I; Ord. 03-2011 §2)

Sec. 17-84. - Permit exemptions.

No permit shall be required when grading is performed under the following circumstances:

- (1) An excavation by the Town for the purpose of maintenance of Town utilities, streets or easements; or
- (2) An excavation by a private individual for the purpose of routine maintenance.

(Ord. 7-1984)

Sec. 17-85. - Procedure for a grading permit.

- (a) The applicant shall first present the details of the proposed grading with an erosion control plan and checklist to the Planning Commission, at least ten (10) working days in advance of its next regularly scheduled meeting.
- (b) The application may be heard at the same meeting as the final plat, or if no plat is involved, at the same meeting at which planning permission is being sought.
- (c) Grading permit applications shall be reviewed by the Planning Commission, which may approve, disapprove, table, or conditionally approve all such applications. If the applicant for a grading permit finds the action taken by the Planning Commission to be unfavorable, the applicant may appeal the same to the Board of Trustees by filing an appeal with the Town Clerk within ten (10) calendar days of the date of Planning Commission decision.

(Ord. 7-1984; Ord. 03-2011 §2; Ord. No. 208-03, § 1, 7-17-2018)

Sec. 17-86. - Details of the application.

The application for a grading permit for development or modification shall be submitted to the Planning Commission in five (5) copies at least ten (10) days in advance of the next regular Planning Commission meeting.

(Ord. 7-1984; Ord. 3-1985 §II)

Sec. 17-87. - Development details.

- (a) It is recommended that the grading and erosion control plans be prepared by a registered engineer. It is understood that all plans are subject to review by a civil engineer retained by the Town and said engineer's fees shall be paid by the applicant. The application shall consist of a grading and erosion control plan drawn at an appropriate scale (one [1] inch equals fifty [50] feet at a minimum), with:
  - (1) Location of existing and proposed buildings or structures on the applicant's property.
  - (2) Location of all existing and proposed streets, roadways, driveways, easements and rights-of-way.
  - (3) The present contours of the site in dashed lines and the proposed contours in solid lines. Contour intervals shall not be less than two (2) feet. The source of topographical information shall be indicated.
  - (4) The location of all drainage to, from and across the site, the location of intermittent and permanent springs, culverts and other drainage structures.
  - (5) Details of any proposed drainage structures, cribbing, terraces and/or surface protection, not including vegetative cover required as a result of grading and required for the support of adjoining property.

- (6) Grading specifications.
- (7) Cut slopes.
  - a. Half bench cuts can only be considered for cross-cut conditions with less than 1.5:1 (horizontal distance to vertical distance, or a thirty-three-degree slope angle). Compaction and tracking will become essential and critical components of successful construction and rehabilitation. All conventional erosion control methods and associated best management practices may be carried out in these conditions as outlined in the approved erosion control plan.
  - b. Full bench cuts must be carried out for cross-cut conditions with more than 1.5:1 (horizontal distance to vertical distance, or a thirty-four-degree slope angle). Retainage of the disturbed banks is almost certain and must be illustrated through the use of many instruments, but not limited to gravity walls, rock buttresses, cantilever buttresses or counter fort walls, H-pikes, crib walls, gabions, block walls or any other form of reinforced earth structure. Geotechnical assessment will determine the type of retainage best suited for the conditions. All other applicable erosion control methods and associated best management practices may be carried out in these conditions as outlined in the approved erosion control plan.
  - c. In the case of either method, controlling the watershed runoff through ditch lines, collection ponds, culverts and other mechanical devices will be critical to the interest of all those residually affected by any changes to the disturbed area.
- (8) Statement of the estimated starting and completion dates for the grading work proposed, and for any landscape work that may be required.
- (9) Drainage calculations shall be required only where existing runoff patterns will be modified by proposed grading. Where a drainage study exists for the subdivision and the grading plans conform to proposed drainage patterns, a letter indicating conformance to the original drainage plan shall meet the intent of this requirement. Under those conditions, drainage calculations would not be necessary.
- (10) A soils report for a subdivision should supply the needed soils information for all individual lots within the subdivision unless site conditions indicate the need for additional information on a specific lot. Soils reports shall be required on individual lots only where unusual conditions exist or soils information is totally lacking. The report shall consist of information relative to the stability of cut-and-fill slopes, compaction requirements, erosion tendencies and bearing capacities when needed.
- (11) Landscape plans and specifications for the site and, if appropriate, information relating to landscaping of adjacent or surrounding areas affected by the proposed development. Such plans and specifications shall be prepared by a licensed landscape architect. These plans shall show:
  - a. Distribution of plant material, ground cover and rockscaping; general location, quality and key number of each species of plant in each group; an outline of all lawn areas, areas to be seeded and sodded; existing trees, if any, to be preserved, transplanted or removed; and kind, size and work involved as related to slope control and/or physical environment.
  - b. A list of plant material giving standard botanical plant names and key number for each variety for reference to the plan and, in addition, the size, quality or other pertinent description common to the trade.
  - c. A statement describing the methods for planting the areas to be landscaped with special emphasis on soil preparation, fertilization, plant material and methods of planting, and initial maintenance of the plant material and slopes until a specified percentage of plant coverage is established uniformly on the cut-and-fill slopes.

- d. Provision for replacement of plants that die within one (1) year of planting.
- (12) Details of all items and features pertaining to site preservation and improvements such as retaining walls and tree wells, and details not shown on other plans accompanying the application.
- (13) Such other further details as may be specified and required by the Planning Commission and/or Board of Trustees to carry out the purpose of this Article.
- (b) If any of the material required for the grading permit application has been previously submitted as part of the planning permission for the subdivision process, then that submittal shall be referenced and the items may not be required to be submitted as part of the grading application.

(Ord. 7-1984; Ord. 03-2011 §2)

Sec. 17-88. - Disposition of copies.

- (a) The Planning Commission shall send a copy of the application and all related information to the following:
  - (1) Planning Commission members;
  - (2) Town-retained civil engineer; and
  - (3) Town Maintenance Department.
- (b) Notification shall be sent to all adjacent property owners that the application is under consideration. The developer is responsible for the location of names and addresses of property owners.

(Ord. 7-1984)

Sec. 17-89. - Denial of permit.

When, in the opinion of the Planning Commission or the Board of Trustees, the work proposed by the application is contrary to the purposes of this Article, the grading permit shall be denied.

(Ord. 7-1984)

Sec. 17-90. - Conditions of issuance.

A permit may be issued with the conditions listed, but not limited to those listed, as follows:

- (1) Limitations on the hours of operation or the period of year in which the work may be performed.
- (2) Restrictions as to the size and type of equipment.
- (3) Designation of routes upon which materials may be transported.
- (4) The place and manner of disposal of excavated materials.
- (5) Requirements as to the laying of dust, tracking of dirt, prevention of noises and other results offensive and injurious to the neighborhood, the general public or any portion thereof.
- (6) Designation of maximum or minimum slopes to be used if they vary from those prescribed in this Article.
- (7) Regulations as to the use of public streets and places in the course of the work.
- (8) Regulations as to the degree of compaction of fill material.
- (9) Requirements as to paving private driveways and roads constructed under the permit.
- (10) Requirements for safe and adequate drainage of the site.
- (11) A requirement that approval of the Maintenance Department be secured before any work which has been commenced may be discontinued.

(12) A requirement that means and equipment be provided at the site during storms to prevent incomplete work endangering life or property.

(13) Requirements for fencing of excavation or fills which would be hazardous without such fencing.

(Ord. 7-1984; Ord. 3-1985 §III; Ord. 03-2011 §2)

#### Sec. 17-91. - Inspections.

Periodic inspections of the work shall be made by a civil engineer retained by the Town, and said engineer's fee shall be paid by the applicant.

(Ord. 03-2011 §2)

#### Sec. 17-92. - Erosion control plan.

- (a) An erosion control plan shall be prepared for all land-disturbing activities of three hundred (300) square feet or fifty (50) cubic yards or more, whichever is applicable, or if construction of a road, either temporary or permanent, is part of the land-disturbing activity.
- (b) For land-disturbing activity of three hundred (300) square feet or fifty (50) cubic yards or more, whichever is applicable, and having no proposed road construction, the Town may waive the submission of an erosion control plan if, upon site inspection, determination is made that the site does not have the potential to cause erosion or off-site damage. However, a plan is required for all land-disturbing activity involving one (1) acre or more, or involving the construction of any public road, or any commercial construction.
- (c) Persons conducting land-disturbing activity which covers three hundred (300) square feet or fifty (50) cubic yards or more, whichever is applicable, except as specified above or involves road building, shall file one (1) copy of the erosion control plan with the Town at least ten (10) working days prior to beginning such activity. If the Planning Commission, either upon examination of the submitted plan or an inspection of the job site, determines that a significant risk of accelerated erosion or off-site sedimentation exists, the Planning Commission will require a revised plan. Pending the preparation of the revised plan, work shall continue only under conditions outlined by an engineer retained by the Town and said engineer's fees shall be paid by the applicant.
- (d) Erosion control plans shall be accompanied by an authorized statement of financial responsibility and ownership. This statement shall be signed by the person financially responsible for the land-disturbing activity or his or her attorney-in-fact. The statement shall include the mailing and street addresses of the principal place of business of the persons financially responsible and of the owner of the land and their registered agents.
- (e) The Planning Commission will review the plan submitted and make a recommendation to the Board of Trustees. The Board of Trustees will notify the person submitting the plan that it has been approved, approved with modifications, approved with performance reservation or disapproved. Denial of a plan must specifically state in writing the reasons for denial. The Board of Trustees must approve or deny a revised plan within ten (10) working days of receipt of the revised plan.
- (f) The plan required by this Chapter shall contain architectural and engineering drawings, maps, assumptions, calculations and narrative statements as needed to adequately describe the proposed development of the tract and the measures planned to comply with the requirements of this Chapter. Plan content may vary to meet the needs of specific site requirements.
- (g) Applications for amendment of an erosion control plan in written and/or graphic form may be made at any



time under the same conditions as the original application. Until such time as said amendment is approved by the Town, the land-disturbing activities shall not proceed, except in accordance with the erosion control plan as originally approved.

- (h) Any person engaged in land-disturbing activities who fails to file a plan in accordance with this Chapter, or who conducts a land-disturbing activity except in accordance with provisions of an approved plan, shall be deemed in violation of this Chapter.

(Ord. 03-2011 §2)

Sec. 17-93. - Air pollution control.

Efforts will be made to abate the dust caused by the development of sites. Such methods as watering, erosions controls, chemical treatment, etc., may be used, but dust shall be minimized.

(Ord. 7-1984)

Sec. 17-94. - Fees.

Permit fees will reflect the cost estimate of the civil engineer hired by the Town to provide plan checks and inspections, and the costs incurred by the Town in the application process.

(Ord. 7-1984)

Sec. 17-95. - Security required.

- (a) The applicant for a permit shall, prior to commencing any land-disturbing activity, be required to file with the Town an improvement security in the form of an escrow account surety bond, irrevocable letter of credit or other undertaking satisfactory to the Town, for one hundred twenty-five percent (125%) of the actual costs of the project, to cover all costs of protection or other improvements required to establish protective cover on the site in conformity with this Chapter. Such security shall remain in force until the improvements are completed in accordance with the approved plan and said improvements are finally inspected and approved as set out in Subsection (b) of this Section.
- (b) Upon completion of the improvements as required by this Chapter, written notice thereof shall be given by the applicant to the Board of Trustees. The Board of Trustees shall cause an inspection of the improvements to be made and, if approved, shall within thirty (30) days of the date of notice authorize in writing the release of the security given, provided that the improvements have been made in accordance with the approved plan and this Chapter.
- (c) The security shall be forfeited upon violation of this Chapter and shall be used to bring the site into conformance with the grading standards and establish protective cover on the site. Any moneys in excess of the cost for these improvements shall be refunded.
- (d) Any person who knowingly or willfully violates any provision of this Chapter or rule or order adopted or issued pursuant to this Chapter or who knowingly or willfully initiates or continues a land-disturbing activity for which an erosion control plan is required shall be guilty of a misdemeanor punishable by a fine determined at the discretion of the Court. Each day such violation exists may constitute a separate violation at the discretion of the Court.

(Ord. 03-2011 §2)

Sec. 17-96. - Responsibility.

Failure of the Town officials to observe and recognize hazardous or ugly conditions, of the Planning Commission to recommend denial of the grading permit, or of the Board of Trustees to deny said permit, shall not relieve the permittee of responsibility for the condition or damages resulting therefrom, and shall not result in the Town, its officers or agents being responsible for the conditions or damages resulting therefrom.

(Ord. 7-1984)

Sec. 17-97. - Definition.

*Driveways* are considered to be the area normally used by vehicles to provide access onto a property.

(Ord. 01-2003 §1)

Sec. 17-98. - Purpose.

In order to protect the health, safety and welfare of the citizens of the Town and to avoid unnecessary expense to the private property owner and to the public, a driveway plan shall be approved by the Planning Commission before issuance of a permit. The Planning Commission shall reserve the right to ask for an engineer's written opinion and a current plat of survey when applicable.

(Ord. 01-2003 §1)

Sec. 17-99. - Relationship to other ordinances.

The ordinance codified in this Article is intended to help implement the Comprehensive Plan and Land Use Code of the Town. In that regard, it supplements the subdivision regulations and the zoning ordinance by prescribing standards and criteria for the development of a driveway and to control or to minimize any adverse effects on the terrain, drainage or erosion control.

(Ord. 01-2003 §1)

Sec. 17-100. - Development details and regulations.

Every driveway hereafter constructed, reconstructed or altered, including any portion within the street right-of-way, shall conform to development standards.

- (1) All driveways shall be constructed so that they will not interfere with the drainage system of the street.
- (2) The proposed driveway grades shall be indicated on the driveway plan or site plan. The driveway grade may not exceed fifteen percent (15%) within the public right-of-way and twenty percent (20%) between the right-of-way line and the front building line.
- (3) If the Planning Commission determines that the installation of a culvert is required at the entrance to the driveway, the minimum size shall be eighteen (18) inches in diameter with flared end sections or concrete headwalls. The minimum length of any culvert shall be five (5) feet greater than the width of the driveway.
- (4) The following widths are permitted for driveways:

Zoning District	Widths of Driveways
Single-family	10 feet minimum
Multiple-family/commercial	16 feet minimum

- (5) Runoff or sediment from erosion from a lot and driveway must enter approved drainageways, not onto a public street right-of-way. The applicant shall provide the Planning Commission with the methods by which this shall be accomplished.
- (6) The materials and thickness of the proposed driveway shall be indicated on the plan, and such materials shall be approved by the Planning Commission. The installed materials shall end within three (3) feet of maintained roadway.
- (7) It shall be the duty of the property owner to provide ongoing maintenance, including that portion of the driveway on a Town right-of-way. The Maintenance Department and/or Planning Commission shall have the option to inspect driveways periodically.
- (8) Upon review of the driveway plan, the Planning Commission may require a grading permit.

(Ord. 01-2003 §1; Ord. 03-2011 §2)

#### Sec. 17-101. - Procedures for driveway permit.

- (a) The individual shall obtain a driveway permit application from the Town Clerk.
- (b) The individual shall present the application and driveway site plan to the Planning Commission at least ten (10) days in advance of the Commission's next regularly scheduled meeting.

(Ord. 01-2003 §1)

#### Sec. 17-102. - Fees.

Fees shall be established by resolution of the Board of Trustees.

(Ord. 01-2003 §1)

#### Secs. 17-103—17-110. - Reserved.



## Town of Green Mountain Falls Land Use Approval Application Grading/ECP

### General Information

- This is an application for a Grading Permit. An Erosion Control Plan (ECP) may be required per GMF Municipal Code [Chapter 17 - Subdivision](#)
- The checklist on page 2 serves as a guide to submitting a complete application and is not a substitute for all provisions in [GMF Municipal Code](#)
- Complete application submittals will receive a minimum staff review time of thirty (30) days before appearing on a Planning Commission agenda

### Applicant Information

Applicant:
Address:
E-Mail:
Phone:
Owner:
Address:
E-mail:
Phone:

### Property Information

Address:	
Zoning Designation:	Lot Size:
Hillside Overlay zone? Yes <input type="checkbox"/> No <input type="checkbox"/>	ILC Included: Yes <input type="checkbox"/> No <input type="checkbox"/>
FEMA FIRM Designation:	Survey Included: Yes <input type="checkbox"/> No <input type="checkbox"/>

### Certification & Signature

APPLICANT'S STATEMENT: I understand the procedures that apply to my request and acknowledge an incomplete application will not be processed or scheduled for public hearing until such time it is complete. GMF Town Staff's acceptance of the application, the payment of fees, and submittal of accompanying materials does not constitute completeness. I further agree to reimburse the city for technical and professional consulting expenses that may be incurred during the review of my request. Failure to reimburse the Town for invoiced expenses constitutes an incomplete application.

Certification: The undersigned applicant certifies under oath and under penalties of perjury that the information found in the application is true and accurate to the best of their knowledge.

Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

This document can be signed electronically using [Adobe Reader DC for free](#).

## Grading/ECP Checklist

The following checklist is a guideline for submitting a complete Land Use Approval Application for Grading and [ECP, when required](#). GMF Staff may request additional information in accordance with Town Code and Town Attorney's recommendation.

### 1. Application

- a. Application form (page 1), signed and dated by the applicant and/or owners
- b. [Application fee](#)
- c. Letter of explanation
  - i. Describe the proposed project in detail, referring to site plans and drawings as necessary
  - ii. Statement of the estimated starting and completion dates for the grading work proposed, and for any landscape work that may be required
  - iii. Location of equipment staging if off-site

### 2. Development Plan

- a. Vicinity Map
- b. Existing and proposed buildings or structures
- c. Zoning setback distances
- d. All access points to the property from adjacent streets and alleys
- e. Details of all items and features pertaining to site preservation and improvements such as retaining walls and tree wells
- f. Location of all existing and proposed streets, roadways, driveways, easements and rights-of-way
- g. The present contours of the site in dashed lines and the proposed contours in solid lines. Contour intervals shall not be less than two (2) feet. The source of topographical information shall be indicated
- h. The location of all drainage to, from and across the site, the location of intermittent and permanent springs, culverts and other drainage structure
- i. Details of any proposed drainage structures, cribbing, terraces and/or surface protection, not including vegetative cover required as a result of grading and required for the support of adjoining property

#### Procedure:

- A grading permit will be considered by the Planning Commission for land disturbing activities, as outlined in [GMF Code §17-83](#).
- An ECP may be required and or waived, as described in [GMF Code §17-83 and §17-92](#)
- Third party on-call engineering review may be required by the Planning Commission or Board of Trustees
- Per [GMF Code §17-95](#), improvement security may be required
- All supplemental materials should be submitted in pdf or jpg format to [planner@gmfco.us](mailto:planner@gmfco.us)
- Application fees should be paid to Town Clerk
- When a complete application is received, Town Staff will schedule the item for a public hearing

#### GMF Town Staff:

- ☐ Application
- ☐ Letter of Explanation
- ☐ Site Development Plan
- ☐ Application fee
- Date\_\_\_\_\_ Amount\_\_\_\_\_ ☐ Check #\_\_\_\_\_ ☐ Credit Card





To: Planning Commission  
From: GMF Land Use & Planning  
Date: October 26, 2020  
Re: Driveway Permit DR2020-02 at 10330 El Paso Avenue

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### **Background**

The Applicant is requesting the Planning Commission's review and consideration of a Driveway Permit, which are on this agenda with the grading permit, plan review approval, and variance for the construction of a SFH addition and garage at 10330 El Paso Avenue. Town Hall received a Land Use Approval Application for "road cut driveway gravel," grading plan, and surveyor's ILC, on September 30, 2020. Driveway permit fee has not been received at Town Hall.

### **Discussion**

#### **Sec. 17-97 – 17-102 – Driveway Permit**

The Ordinance, passed in 2003, states the purpose of this section of the subdivision rules is to *protect the health, safety and welfare of the citizens of the Town and to avoid unnecessary expense to the private property owner and to the public, a driveway plan shall be approved by the Planning Commission before issuance of a permit.*

*The Planning Commission shall reserve the right to ask for an engineer's written opinion and a current plat of survey when applicable.*

#### **Section 17-100 – Development details and regulations:**

- (1) *All driveways shall be constructed so that they will not interfere with the drainage system of the street.*
- (2) *The proposed driveway grades shall be indicated on the driveway plan or site plan. The driveway grade may not exceed fifteen percent (15%) within the public right-of-way and twenty percent (20%) between the right-of-way line and the front building line.*
- (3) *If the Planning Commission determines that the installation of a culvert is required at the entrance to the driveway, the minimum size shall be eighteen (18) inches in diameter with flared end sections or concrete headwalls. The minimum length of any culvert shall be five (5) feet greater than the width of the driveway.*
- (4) *The following widths are permitted for driveways: single-family, 10-feet minimum.*

- (5) Runoff or sediment from erosion from a lot and driveway must enter approved drainageways, not onto a public street right-of-way. The applicant shall provide the Planning Commission with the methods by which this shall be accomplished.*
- (6) The materials and thickness of the proposed driveway shall be indicated on the plan, and such materials shall be approved by the Planning Commission. The installed materials shall end within three (3) feet of maintained roadway.*
- (7) It shall be the duty of the property owner to provide ongoing maintenance, including that portion of the driveway on a Town right-of-way. The Maintenance Department and/or Planning Commission shall have the option to inspect driveways periodically.*

#### **Staff Discussion**

The grading site plan, SD1, shows the driveway branches off an existing driveway that has served the existing SFH. The width appears to broaden toward the proposed garage, which is 20 feet, the overall width is unknown. The slope is less-than 20% and terminates at proposed concrete paving of unknown dimensions. Site plan indicates that asphalt paving of the driveway will take place during a different phase- presumably once the SFH construction is complete. Drainage from impervious surfaces isn't indicated.

A driveway permit is written in the code as a separate item, but is integrally tied-in with the grading, filling, and drainage of the overall proposed projects also being reviewed by the Planning Commission, which may require third-party engineering review as a condition of approval.

The driveway appears to meet the basic requirements in **§17-100**, the details of which can be confirmed by the Applicant during the public hearing. Staff recommended conditions include the payment of \$100 gravel driveway permit fee and proof of GMF Business License for all private entities conducting work on the proposed projects.





To: Planning Commission  
From: GMF Land Use & Planning  
Date: October 26, 2020  
Re: Grading Permit GR2020-02 at 10330 El Paso Avenue

---

### **Background**

The Applicant is requesting the Planning Commission's review and consideration of a Driveway Permit, which will accompany the grading permit, plan review approval, and variance for the construction of a SFH addition and garage at 10330 El Paso Avenue. Town Hall received a Land Use Approval Application for "road cut driveway gravel" grading plan, and surveyor's ILC, on September 30, 2020. Driveway permit fee has not been received at Town Hall.

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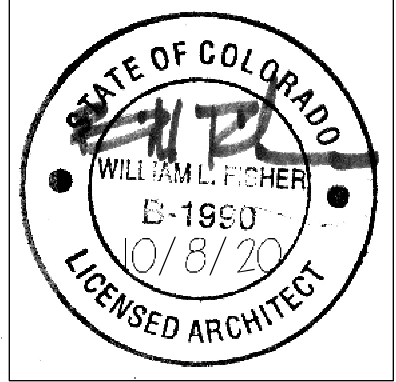
A driveway permit is written in the code as a separate item, but is integrally tied-in with the grading, filling, and drainage of the overall proposed projects also being reviewed by the Planning Commission, which may require third-party engineering review as a condition of approval.

The driveway appears to meet the basic requirements in §17-100, the details of which can be confirmed by the Applicant during the public hearing.

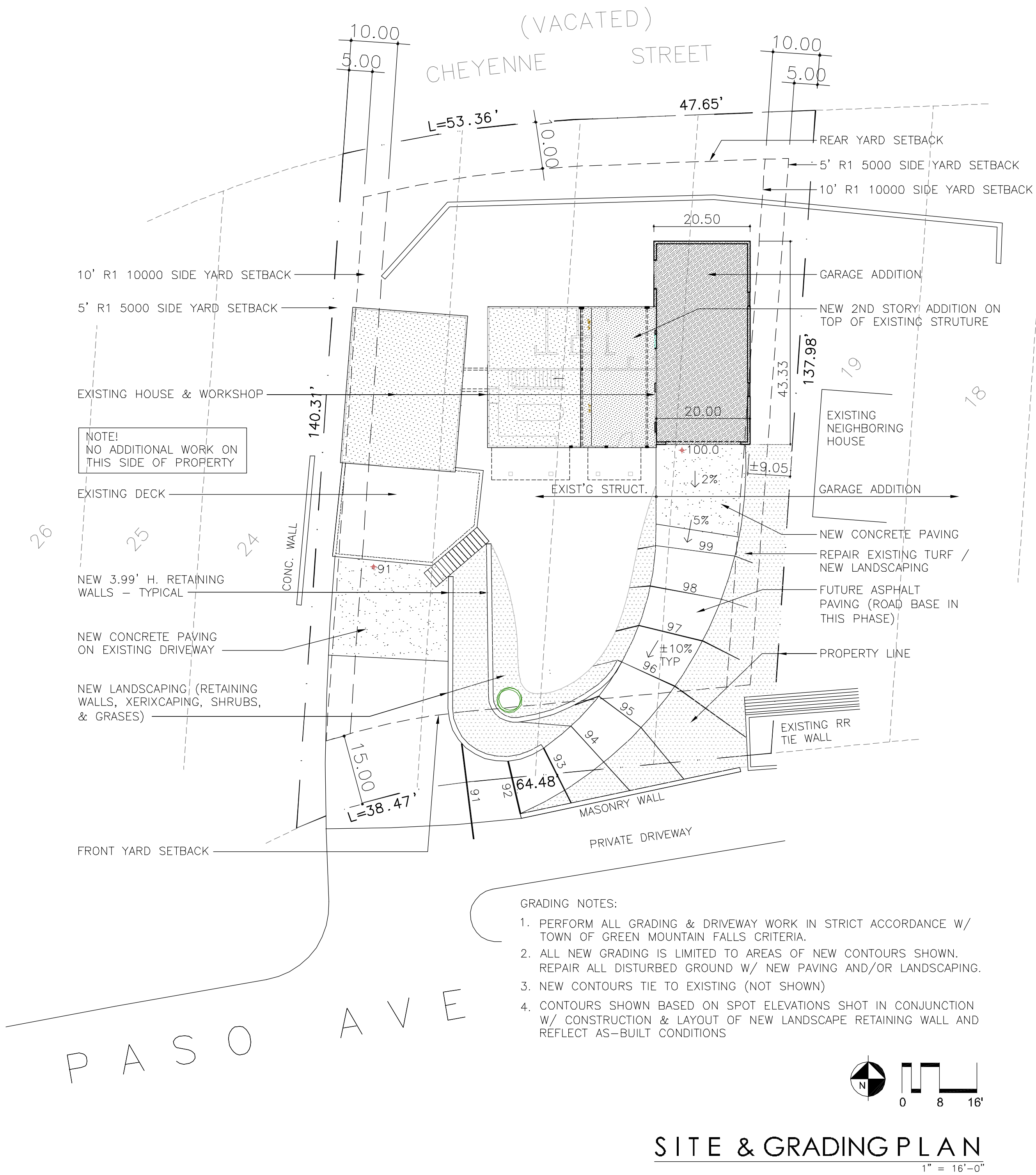


# Smith Residence Addition & Remodel

10330 El Paso Ave, Green Mountain Falls, CO 80919



fisher architecture  
palmer lake, co 719 660 4356



VICINITY MAP



INDEX TO DRAWINGS:

SD1	TITLE SHEET, SITE PLAN, GENERAL PROPERTY INFORMATION
A1	MAIN LEVEL FLOOR PLAN
A2	UPPER LEVEL FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS & DETAILS
S1	FOUNDATION DIMENSION PLAN, FLOOR & ROOF FRAMING PLANS
SOILS REPORT & FOUNDATION DESIGN	
A GEOTECHNICAL INVESTIGATION & FOUNDATION DESIGN & SPECS (STAMPED BY COLORADO REGISTERED STRUCTURAL ENGINEER) SHALL BE PROVIDED AT FIRST INSPECTION)	

GENERAL NOTES

- ALL WORK PER 2017 PPRBC
- NOTIFY ARCHITECT IMMEDIATELY IF ACTUAL CONDITIONS DO NOT REFLECT THOSE SHOWN ON THE DRAWINGS.
- FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO ORDERING OR FABRICATING MATERIALS OR OTHERWISE COMMENCING THE WORK.
- G.C. COORD. ALL MECHANICAL, PLUMBING, & ELECTRICAL WORK AND THE WORK OF ALL OTHER TRADES AND PERFORM ALL NECESSARY COORDINATION TO ASSURE ALL COMPONENTS OF CONSTRUCTION ARE PROPERLY ASSEMBLED, PROFESSIONALLY INSTALLED, FULLY FUNCTIONAL & IN WORKING ORDER, AND FREE OF DEFECTS.
- PERFORM ALL WORK IN STRICT ACCORDANCE W/ ALL APPLICABLE CODES AND STATUTES.
- VERIFY THE EXISTENCE AND LOCATION OF ALL MECH, ELECT, & UTILITIES PRIOR TO PERFORMING ANY DEMO WORK AND PROTECT SAME FROM HARM.
- ALL FINAL MATERIAL, FINISH & COLOR SELECTIONS PER OWNER.
- ARCHITECT:** WILLIAM L. FISHER  
PO BOX 1395  
PALMER LAKE, CO 80133  
719-660-4356
- STRUCTURAL ENGINEER:** RALPH LOCACIO  
GREEN MOUNTAIN FALLS, CO

ZONING & PROPERTY DATA

<b>PROPERTY ADDRESS:</b>	10330 EL PASO AVE GREEN MOUNTAIN FALLS, CO 80819
<b>PROPERTY OWNER'S NAME:</b>	CRAIG A SUMNER ESTATE CORD SMITH PERSONAL REPRESENTATIVE
<b>EPCO PROPERTY TAX NO.</b>	8308401083
<b>LEGAL DESCRIPTION:</b>	LOTS 20-23 BLK 17 GREEN MOUNTAIN FALLS ADD NO 2
<b>ZONING:</b>	R1 PER GMF ZONING MAP R1 10,000 PER GMF PLANNING INTERPRETATION R1 5000 PER HISTORICAL RECORDS
<b>DETAILED PROJECT DESCRIPTION:</b>	GARAGE ADDITION (NEW FOOTPRINT) AND UPPER LEVEL MBR ADDITION (NO NEW FOOTPRINT)
<b>ADJACENT ZONING &amp; LAND USE:</b>	R1 RESIDENTIAL

TITLE SHEET & SITE PLAN

Smith Residence  
Addition & Remodel

10330 El Paso Ave, Green Mountain Falls, CO 80819

PROJECT	20.4.2
DATE	10/8/20
PHASE	Permit Docs
DRAWN	WLF
CHECKED	WLF
REV'D	

SD  
1





Planning Commission Meeting Management  
Talking Points-  
Memo from Chairperson Todd Dixon  
10/9/2020

1. Agendas

a. Format

i. New BoT Format?

b. Information

Any information need to be added?

Any information need to be deleted?

2. Minutes

. Format OK?

a. Information OK?

3. Meeting Process

. Order of Meeting OK?

.Order of "New Business" OK?

1. Staff Report

2. Questions/Clarifications from PC on Staff Report

3. Applicant Comments/Statements

4. Questions/Clarification from PC for Applicant

5. Public Comments

6. Questions/Clarification from PC?

7. Call for motion/second

8. Clarification of motion?

9. Call for vote

a. Start of "Public Hearing" once OK? (that's what I've been doing at the start of "New Business" instead of stating on each item that we are having a "Public Hearing").

4. Others??



# Town of Green Mountain Falls

Date, Time

Online Meeting

Zoom Meeting Information:

TIME*		ITEM	DESIRED OUTCOME
7:00	1.	CALL TO ORDER	
7:00	2.	ADDITIONS, DELETIONS, OR CORRECTION TO THE AGENDA	
7:00	3.	PUBLIC COMMENT	
7:05	4.	UNFINISHED BUSINESS	PC Action Recommended
7:05	5.	Consideration of	
7:15	6.	NEW BUSINESS	PC Action Recommended
7:20	7.		
7:30	8.	OTHER BUSINESS	Discussion
7:40	9.		Information Only
7:45	10.		
8:00	11.		Discussion
8:10	12.		Discussion
8:20	13.		Discussion
8:30	14.		Informational Only
8:40	15.		Discussion
9:00	16.		
9:10	17.		Information Only
9:10	18.		Information Only
9:15	19.	ADJOURN	

\*Please note: Times are approximate.

\*\*The Town shall provide reasonable accommodation for those with disabilities on a case by case basis. Please send accommodation requests to [clerk@gmfco.us](mailto:clerk@gmfco.us) by 4pm on the date of the meeting.