



TOWN OF GREEN MOUNTAIN FALLS
PLANNING COMMISSION MEETING
Tues April 23, 2019- 6:30 PM at Town Hall

AGENDA

1. CALL TO ORDER/ROLL CALL welcome guests
2. ADDITONS DELETIONS & CORRECTIONS TO THE AGENDA
3. APPROVE MINUTES of Mar 26 Meeting
4. PUBLIC INPUT - For Items not on the Agenda

5. COMP PLAN- Briefing by Logan Simpson Company -Draft of Part 1
 Schedule : May 28 Public Hearing- (Town Meeting #3)
 June 25- PC ADOPTION of PLAN
 July 2- TB Acceptance of PC Adopted PLAN

6. NEW BUSINESS
 - a. PR 008 - 11045 Iona-New Home-Todd Dixon-BUILDER: Mike, Paramount Homes
 - b. PR 005 - Replace Deck-10700 Grandview-Sean and Kay Rice-Work Bench
 Builders, Linda
 - c. PR 007 - Add a Deck-10615 Illinois- Debora Hydeman, Winds of Change
 Builders, Gregory
 - d. PR 006 - Deck-6885 Park Ave-Debora Hydeman
 - e. Discuss Ordinance 2019-02 Reenacting Section 16-711 Zoning Amendments
 - f. Discuss the following: (referred to the PC by Town Board at April 2 TB Meeting
 Ordinance 2019-03)
 1. Clarification of the zoning classifications listed in code
 2. Overlapping zoning such as the Pool and surrounding park land
 3. Zoning classification for Public Facilities, and whether they should be different
 from one another

7. OLD BUSINESS
 - a. PR 002 - Replace Decks-6825 Howard-Bradley Ware(tabled from Mar 26)
 - b. Resubmit Request to TB to Rezone Town Hall Parcel from B to PF (Ord 2019-03)
 (Tabled by TB at Apr 2 TB Meeting)
 - c. Finalize Frequently Asked Questions- (tabled from Mar 12)- Caldwell.
 - d. Discussion of revision to Sec 16-705 Architectural Review (c)(1) Materials-
 (tabled from Mar 12)- Caldwell
 - f. Discussion of Angel Trail and a trash enclosure- Gail Gerig

8. ADJOURN

**TOWN OF GREEN MOUNTAIN FALLS
PLANNING COMMISSION MEETING
Tuesday, March 26, 2019 – 6:30 P.M.**

MEETING MINUTES

PC Members Present

Mayor Jane Newberry
Chairman Eric Caldwell
Vice Chair Dick Bratton
Commissioner Rocco Blasi
Commissioner Nathan Scott

PC Members Absent

Commissioner Greg Williamson

Secretary

Katharine Guthrie

1. Call to Order/Roll Call

Vice Chair Bratton called the meeting to order at 6:38 pm.

2. Additions, Deletions, or Corrections to the Agenda

M/S: Scott/Blasi

Motion: Move to approve the agenda.

Vote: Motion carried. All aye.

3. Approve Minutes of March 12, 2019

M/S: Blasi/Scott

Motion: Move to approve minutes as submitted.

Vote: Motion carried. All aye.

4. Public Input

None

5. New Business

a. PR003: Plan Review—10555 Illinois—New Windows—HGMFF—Jesse Stroope

M/S: Scott/Blasi

Motion: Approve the project as submitted

Vote: Motion carried. All aye.

b. PR004: Plan Review—10775 Mountain Ave.—Change Lot Lines, Build addition home—Ian Willis

M/S: Bratton/Scott

Motion: Approve the vacation of existing lot lines and merge 4 lots to create 2 lots with the condition that the survey be completed before this change.

Vote: Motion carried. All aye.

Resolution: Fee of \$125.00 for Planning Review paid. Owner to have survey completed to determine setbacks and property lines and submitted it to the County Clerk. Septic system

must accommodate additional bedrooms. Building plans to be submitted to the Planning Commission for review.

6. Old Business

a. Comprehensive Plan—Progress Report—Bratton

On April 9, 2019 Logan Simpson will provide a brief regarding Comp Plan progress (approx. 61% completed)

Per Logan Simpson the adoption date needs to be extended for 30 days.

Board of Trustees is invited to attend the April 9, 2019 PC meeting.

M/S: Bratton/Caldwell

Motion: Recommend to the Town Board that the project's execution period be extended for 30 days.

Vote: Motion carried. All aye.

b. Finalize Frequently Asked Questions—(tabled from March 12)—Caldwell

Chair Caldwell will submit the list, as a working document, to the Town Clerk and Town Manager for review.

c. Finalize PC Plan Review Checklist—(tabled from March 12)—Bratton

M/S: Bratton/Blasi

Motion: Approve the Planning Review Checklist be used internally.

Vote: Motion carried. All aye.

d. Finalize new form "Application for PC Review"—(tabled from March 12)—Town

Clerk

Discussion:

Need a guiding document for staff and applicants for projects that require separate permits and plan reviews.

e. Discussion of revision to Sec 16-705 Architectural Review (c)(1)

M/S: Caldwell/Blasi

Motion: Table item 6.e.

Vote: Motion carried. All aye.

7. Correspondence

None

Adjourned: 7:30pm

Eric Caldwell-Chairman

ATTEST:

Katharine Guthrie-Secretary



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT/LAND OWNER: Todd G. and Nancy S. Dixon

MAILING ADDRESS: 1459 Washburn St.
Erie, CO 80516-6980

PHONE NUMBER: (303) 918-9443 EMAIL ADDRESS: mike@paramounthomescolorado.com
SITE ADDRESS OR ASSESSOR PARCEL NUMBER: 11045 Iona Avenue, Lots 12-15 inclusive, Block 27, 3rd
Addition, Green Mountain Falls, El Paso County

DATE WORK IS TO BE STARTED: 5/1/2019 COMPLETED: 5/15/2019

BRIEF PROJECT DESCRIPTION: Single family dwelling

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required.

Michael S. Rice President, Paramount Homes
SIGNATURE TITLE
DATE 4/8/2019

*Reference [Sections 16-705, 707, and 715, Sections 17-81, 85, 100](#) of Green Mountain Falls Municipal Code
Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls

For office use:

Fee Amount: 125.00 Date Collected: (due 10 days before PC meeting) 4.8.19
Payment Type: Municipal
Independent Engineering Review Date (if applicable) : _____
Planning Commission Action/Date (attach minutes) : _____
BOT Approval Date: NA



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819 (719) 684-9414 www.gmfco.us

2019 APPLICATION – EROSION CONTROL PLAN REVIEW/GRADING PERMIT

*payment is due 10 days before work begins

*Must be accompanied by statement of financial responsibility and ownership

APPLICANT: Todd G. and Nancy S. Dixon

MAILING ADDRESS: 1459 Washburn St.
Erie, CO 80516-6980

PHONE NUMBER: (303) 918-9443

LOCATION OF EXCAVATION SITE: 11045 Iona Avenue - Block 27, 3rd Addition, Green Mountain Falls, El Paso County

DATE WORK IS TO BE STARTED: 5/1/2019 COMPLETED: 5/15/2019

WILL THIS WORK INCLUDE ROAD BUILDING - TEMPORARY OR PERMANENT: YES__ NO X

LAND DISTURBANCE AREA IN SQUARE FEET AND CUBIC YARDS: 9,786 square feet/ 544 cubic yards

BRIEF PROJECT DESCRIPTION: Single family residence

[Signature] President
SIGNATURE TITLE

DATE 4/8/2019

*Reference Section 17-92 and 17-85(e) of Green Mountain Falls Municipal Code

Fee can be found in the current year fee schedule on our website under Forms

For office use:

Fee Amount: 125.00 Date Collected: (due 10 days before project start date) 4.8.19

Payment Type: municipal

Independent Engineering Review Date (if applicable) : _____

Planning Commission Action/Date (attach minutes) : _____

BOT Approval Date: NA

TRANSACTION SUMMARY

TRANSACTION TYPE: SALE

PAYMENT ITEM	REFERENCE NUMBER	AMOUNT
NPS Convenience Fee		\$6.63
Permit Fees		\$250.00
TOTAL:		\$256.63

TOWN OF GREEN MOUNTAIN FALLS, CO - GENERAL FUND
10615 Green Mountain Falls Road
Green Mountain Falls,CO 80819
719-684-9414

Michael Rice	
Transaction Number:	4998898
Date Processed:	04/08/2019 14:04:54 MDT
Transaction Type:	Credit Card
VISA - Key Entered	CardNumber: *****4170
Authorization:	03635G
Reference Number:	00204809
Permit Fees	\$250.00
Total:	\$250.00

I agree to pay above total amount according to the card issuer agreement.

Signature: _____

Thank You
MUNICIPALITY SERVICE FEE - TOWN OF GREEN MOUNTAIN FALLS, CO
511 Congress Street, Suite 503
Portland,ME 04101
(877) 590-5097

Michael Rice	
Transaction Number:	4998898
Date Processed:	04/08/2019 14:04:54 MDT
Transaction Type:	Credit Card
VISA - Key Entered	CardNumber: *****4170
Authorization:	03639G
Reference Number:	00204810
Convenience Fee	\$6.63
Total:	\$6.63

I agree to pay above total amount according to the card issuer agreement & understand this non-refundable convenience fee will be charged to allow my payment via credit card.

Signature: _____

Thank You
Printed: 04/08/2019 16:04:58

STANDARD CONSTRUCTION NOTES:

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH GREEN MOUNTAIN FALLS PLANNING AND INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER TOWN OF GREEN MOUNTAIN FALLS STANDARDS.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY TOWN OF GREEN MOUNTAIN FALLS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

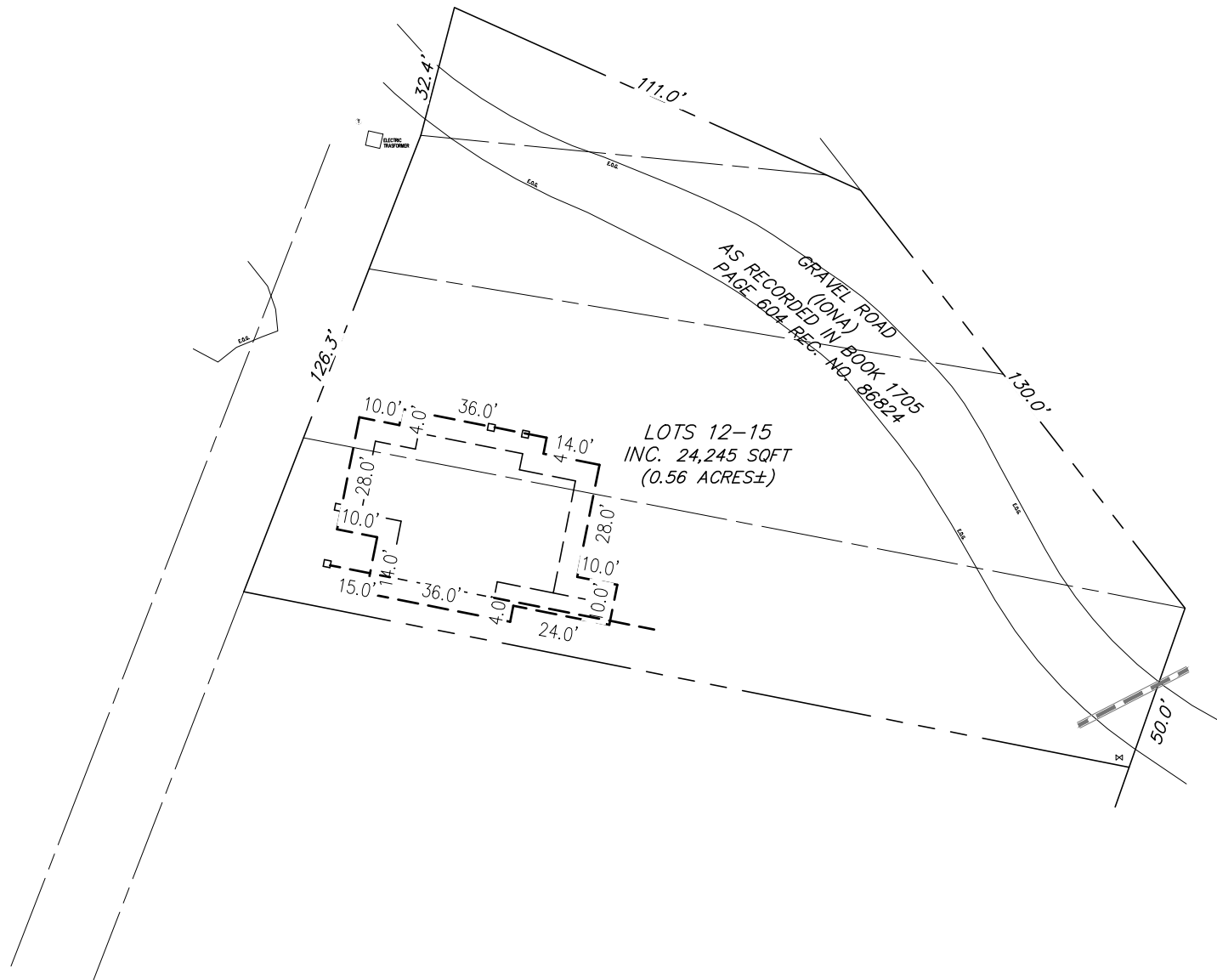
GRADING NOTES:

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM TOWN OF GREEN MOUNTAIN FALLS PLANNING AND A PRECONSTRUCTION CONFERENCE IS HELD WITH INSPECTIONS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- ONCE THE PERMIT HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND GREEN MOUNTAIN FALLS INSPECTIONS WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH GREEN MOUNTAIN FALLS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING. DISTURBED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATION PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME II AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A NON-EROSIVE VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY GREEN MOUNTAIN FALLS INSPECTIONS IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY _____ AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- CUT AND FILL SLOPES EXCEEDING 3:1 ARE DEPICTED ON THE PLANSET. USE OF SLOPES EXCEEDING 3:1 ARE TO BE APPROVED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO BEGINNING OF CONSTRUCTION. ADDITIONAL SLOPE PROTECTIONS INDICATED IN THE PROJECT GEOTECHNICAL REPORT SHALL BE IMPLEMENTED BY THE CONTRACTOR.

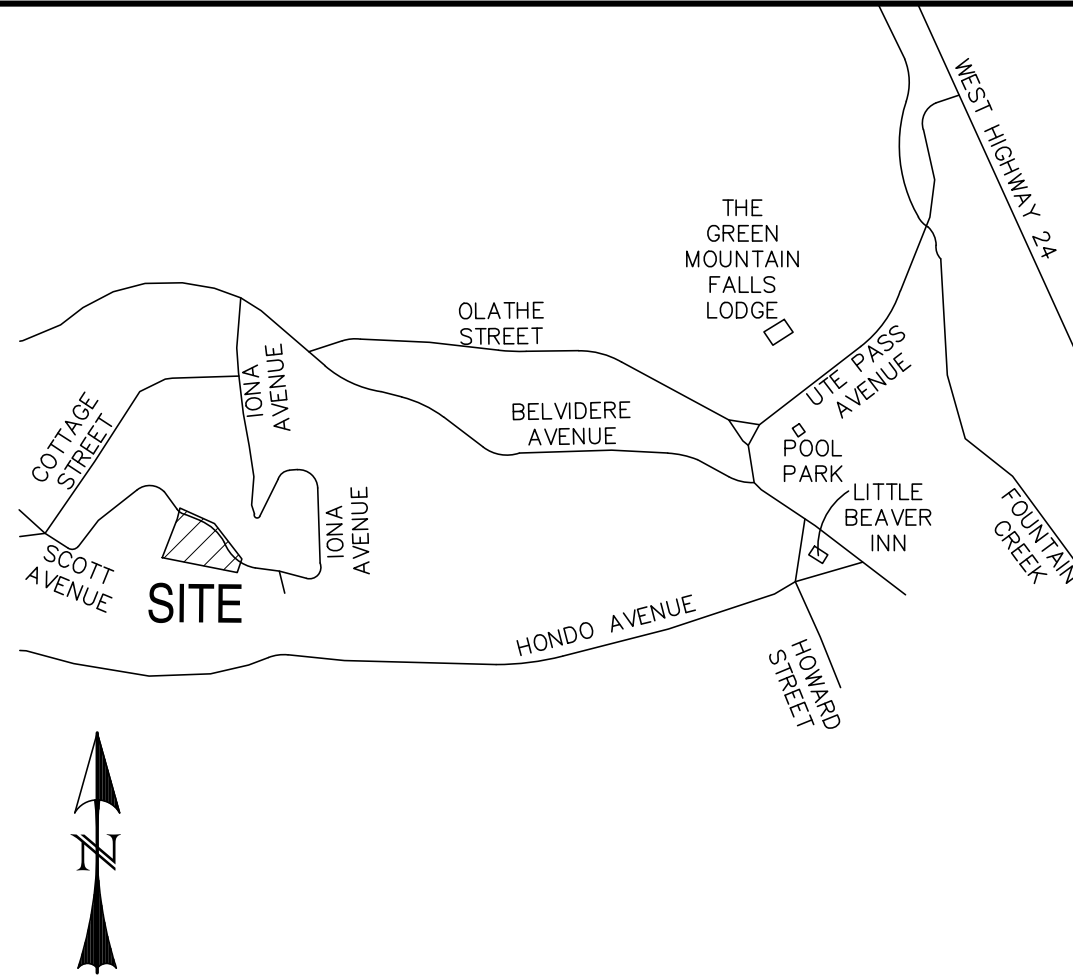
DIXON RESIDENCE

GRADING & EROSION CONTROL PLAN

GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO



SITE MAP
SCALE: N.T.S.



VICINITY MAP
SCALE: N.T.S.

PROJECT CONTACTS

ENGINEER: CATAMOUNT ENGINEERING
321 HENRIETTA AVENUE, SUITE A
WOODLAND PARK, CO 80866
DAVID MIJARES, PE
(719) 426-2124

OWNER: TODD G. & NANCY S. DIXON
1459 WASHBURN ST.
ERIE, CO 80516-6980

TOWN: TOWN HALL OFFICE
10615 UNIT B GREEN MOUNTAIN FALLS RD.
GREEN MOUNTAIN FALLS, CO 80819
(719) 684-9414

PROJECT ADDRESS:

IONA AVENUE
GREEN MOUNTAIN FALLS, CO

BENCHMARK:

PROJECT BENCHMARK: ALL ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM

LEGAL DESCRIPTION:

LOTS 12 TO 15 INCLUSIVE, IN BLOCK 27 IN THE THIRD ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR ROAD CONVEYED TO TOWN OF GREEN MOUNTAIN FALLS BY DEED RECORDED IN BOOK 1705 AT PAGE 604 UNDER RECEPTION NUMBER 86824 OF THE RECORDS OF EL PASO COUNTY, COLORADO; AND FURTHER EXCEPTING THAT PORTION OF LOTS 12, 13 AND 14, DESCRIBED IN DEED TO WILLIAM STALAY BAGWELL, JR. AND MARY T. BAGWELL RECORDED IN BOOK 1977 AT PAGE 990 UNDER RECEPTION NUMBER 309396 OF SAID COUNTY RECORDS.

IMPERVIOUS AREA:

LOT SIZE = 24,245 SF
DISTURBED AREA = 9,786 SF
PROPOSED BLDG FOOTPRINT = 1,508 SF
PROPOSED DRIVEWAY AREA = 2,528 SF
EXISTING PERCENT IMPERVIOUS = 0.0% IMPERVIOUS
PROPOSED PERCENT IMPERVIOUS = 16.6% IMPERVIOUS

GREEN MOUNTAIN FALLS APPROVAL:

SHEET INDEX:

COVER SHEET
SITE PLAN
EROSION CONTROL DETAILS

1 OF 3
2 OF 3
3 OF 3

REV.	DESCRIPTION	DATE



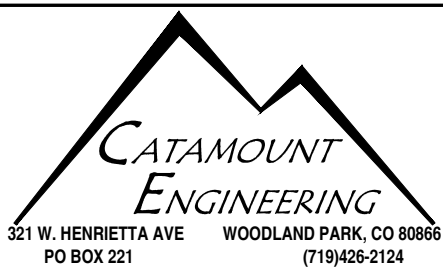
BASIS OF BEARINGS

BENCHMARK

SURVEY CONTROL POINT AS SHOWN HEREON.
ALL ELEVATIONS ARE BASED UPON NAVD88 VERTICAL DATUM.

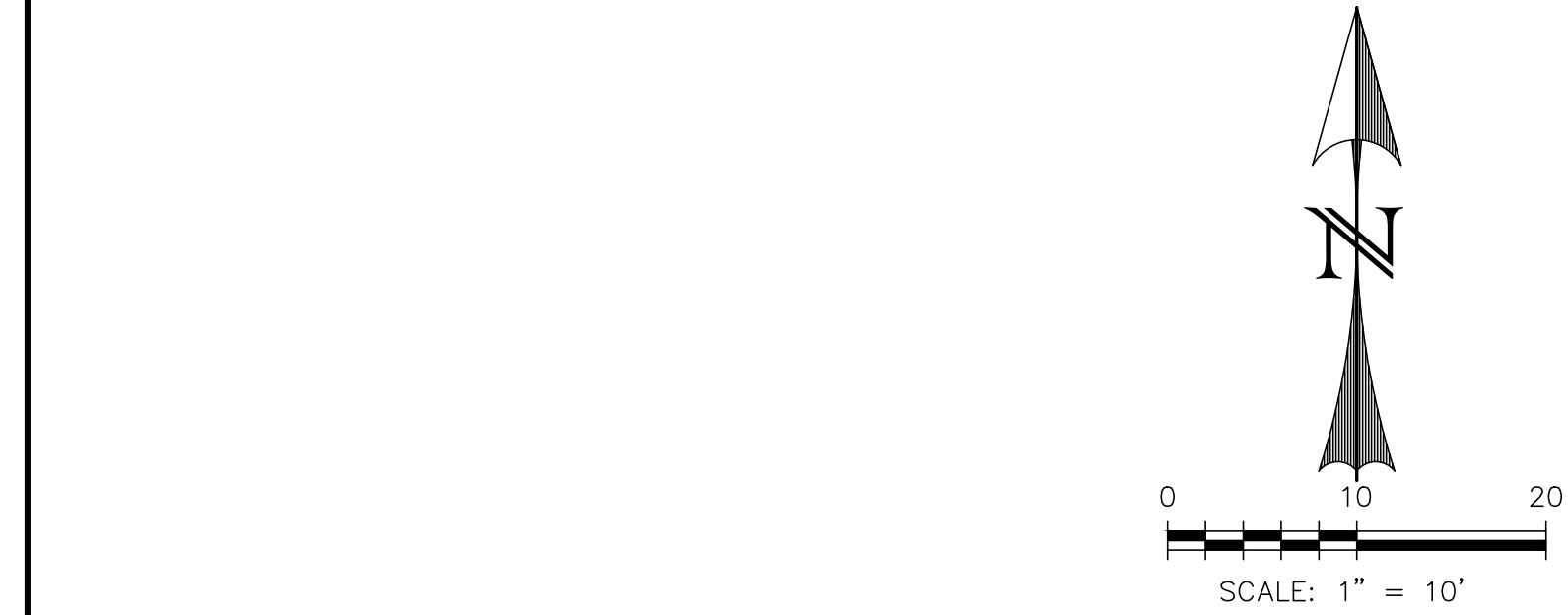
PREPARED FOR:
TODD G. & NANCY S. DIXON
1459 WASHBURN ST
ERIE, CO 80516-6980

PREPARED BY: DAVID L. MIJARES, PE #40510
FOR AND BEHALF OF CATAMOUNT ENGINEERING.
04/04/19
DATE



DIXON RESIDENCE
GRADING & EROSION CONTROL PLAN

DESIGNED BY: DLM	DRAWN BY: DBM
SCALE: N/A	DATE: 04/02/19
JOB NUMBER: 19-195	SHEET: 1 OF 3



LEGEND

EXISTING	(E)
PROPOSED	(P)
FUTURE	(F)
CURB AND GUTTER	C&G
EASEMENT	ESMT
BOUNDARY	
RIGHT-OF-WAY	
LOT LINE	
EASEMENT	
SETBACK	
(E) CONTOUR, INDEX	
(E) CONTOUR	
(E) STORM SEWER, INLET, MH	
(E) LANDSCAPE PLANT	
(P) CONTOUR, INDEX	
(P) CONTOUR	
(P) STORM SEWER, INLET, MH	
CURB TYPE CALL-OUT	

NOTE:

- THE LOCATION OF SOIL STOCKPILE(S), STAGING AREA, AND TEMPORARY DISPOSAL AREA SHALL BE DETERMINED BY THE CONTRACTOR. APPROPRIATE EROSION CONTROL BMP MEASURES SHALL BE FOLLOWED FOR EACH.

REV.	DESCRIPTION	DATE

811 Know what's below.
Call 72 hours before you dig.
For more details visit:
www.call811.com

PREPARED FOR:
TODD G. & NANCY S. DIXON
1459 WASHBURN ST
ERIE, CO 80516-6980

PREPARED BY: **DAVID L. MESSING** PE #40510
FOR AND BEHALF OF CATAMOUNT ENGINEERING.
04/04/19
DATE

CATAMOUNT ENGINEERING
321 W. HENRIETTA AVE WOODLAND PARK, CO 80069
PO BOX 221 (719) 428-2124

DIXON RESIDENCE
SITE GRADING PLAN

DESIGNED BY: DLM	DRAWN BY: DBM
SCALE: N/A	DATE: 04/02/19
JOB NUMBER: 19-195	SHEET: 2 OF 3

96122088

96 SEP 25 PM 2: 14

ARDIS W. SCHMITT
EL PASO COUNTY CLERK & RECORDER5
-1-

WARRANTY DEED

STATE DOCUMENTARY

KNOW ALL MEN BY THESE PRESENTS, That

SEP 25 1996

STEPHEN A. RUNYARD

FEE

250

of the County of El Paso and State of Colorado, for the consideration of One Dollar and other good and valuable considerations, in hand paid, hereby sell and convey to

TODD G. DIXON AND NANCY S. DIXON

in Joint Tenancy, of the County of El Paso and State of Colorado
whose legal address is 714 N. Main, Kingman, KS 67068
the following Real Property situate in the County of El Paso and State of Colorado, (Assessor's Schedule Number 83082-14-030) to wit:

LOTS 12 TO 15 INCLUSIVE, IN BLOCK 27 IN THE THIRD ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR ROAD CONVEYED TO TOWN OF GREEN MOUNTAIN FALLS BY DEED RECORDED IN BOOK 1705 AT PAGE 604 UNDER RECEPTION NUMBER 86824 OF THE RECORDS OF EL PASO COUNTY, COLORADO; AND FURTHER EXCEPTING THAT PORTION OF LOTS 12, 13 AND 14, DESCRIBED IN DEED TO WILLIAM STALAY GWELL, JR. AND MARY T. BAGWELL RECORDED IN BOOK 1977 AT PAGE 990 UNDER RECEPTION NUMBER 309396 OF SAID COUNTY RECORDS.

with all its appurtenances and warrant(s) the title to the same, subject to

covenants, easements, reservations, restrictions and rights of way of record, if any, taxes for the current year and subsequent years.

Signed and Delivered this 20th day of September, 1996.

Stephen A. Runyard

of the County of El Paso and State of Colorado, for the consideration of One Dollar and other good and valuable considerations, in hand paid, hereby sell and convey to

TODD G. DIXON AND NANCY S. DIXON

in Joint Tenancy, of the County of El Paso and State of Colorado
whose legal address is 714 N. Main, Kingman, KS 67068
the following Real Property situate in the County of El Paso and State of Colorado, (Assessor's Schedule Number 83082-14-030) to wit:

LOTS 12 TO 15 INCLUSIVE, IN BLOCK 27 IN THE THIRD ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO, EXCEPTING THEREFROM THE RIGHT-OF-WAY FOR ROAD CONVEYED TO TOWN OF GREEN MOUNTAIN FALLS BY DEED RECORDED IN BOOK 1705 AT PAGE 604 UNDER RECEPTION NUMBER 86824 OF THE RECORDS OF EL PASO COUNTY, COLORADO; AND FURTHER EXCEPTING THAT PORTION OF LOTS 12, 13 AND 14, DESCRIBED IN DEED TO WILLIAM STALAY BAGWELL, JR. AND MARY T. BAGWELL RECORDED IN BOOK 1977 AT PAGE 990 UNDER RECEPTION NUMBER 309396 OF SAID COUNTY RECORDS.

with all its appurtenances and warrant(s) the title to the same, subject to

covenants, easements, reservations, restrictions and rights of way of record, if any, taxes for the current year and subsequent years.

Signed and Delivered this 20th day of September, 1996.

Stephen A. Runyard

STATE OF Colorado)
County of El Paso) SS:

The foregoing instrument was acknowledged before me this 20th day of September, 1996, by Stephen A. Runyard

Witness my hand and seal.

My Commission expires: 2/24/99



CORRECTED
DEED AND AGREEMENT OF EASEMENT

Stephen A. Runyard, of El Paso County, Colorado (hereinafter referred to as the "Grantor"), is the owner of the real property described as follows:

The northerly thirty-four (34) feet on Lot 31, and lots 32 to 34 inclusive, in Block 27 in the third addition to Green Mountain Falls, El Paso County, Colorado, excepting therefrom the right-of-way for road conveyed to Town of Green Mountain Falls by deed recorded in Book 1705 at page 604 under reception number 86824 of the records of El Paso county, Colorado; and further excepting that portion of lots 31, 32, 33 and 34 described in deed to William Stalay Bagwell, Jr. and Mary T. Bagwell recorded in book 1977 at page 990 under reception number 309396 of said county records.

(Hereinafter referred to as the "Servient Property")

Todd G. Dixon and Nancy S. Dixon, of KINGMAN County, KANSAS (hereinafter referred to as the "Grantee"), is the owner of the real property described as follows:

Lots 12 to 15 inclusive, in Block 27 in the third addition to Green Mountain Falls, El Paso County, Colorado, excepting therefrom the right-of-way for road conveyed to Town of Green Mountain Falls by deed recorded in Book 1705 at page 604 under reception number 86824 of the records of El Paso county, Colorado; and further excepting that portion of lots 12, 13 and 14 described in deed to William Stalay Bagwell, Jr. and Mary T. Bagwell recorded in book 1977 at page 990 under reception number 309396 of said county records.

(Hereinafter referred to as the "Dominant Property")

In exchange for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Grantor hereby grants, sells, and conveys to the Grantees the following:

An easement for the use of a portion of the Servient Property which is currently a roadway as depicted in the attached Exhibit "I" for use as a roadway and for purposes of installing, maintaining and housing underground utilities running to the Dominant Property. This property is the same property referred to in the right-of-way for road conveyed to the town of Green Mountain Falls by deed recorded in

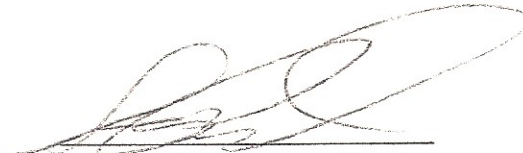
Book 1705 at page 604 under reception number 86824 of the records
of El Paso county, Colorado.

The above described easement shall remain indefinitely.

This easement shall be binding upon and shall inure to the benefit and burden of the Grantor,
the Grantees, and their successors, assigns, and any other person or entity that at any time hereafter
shall become the owner of the Servient or Dominant Property.

The Grantees hereby covenant and agree as follows: The Grantees shall indemnify and hold
the Grantor harmless from and against any and all loss and damage that shall be caused by the
exercise of the rights of ingress and egress inherent in this grant of easement, or resulting from any
other use of this grant of easement, or by any wrongful or negligent act of Grantees, their licensee
or their agent in any way relating to this grant of easement.

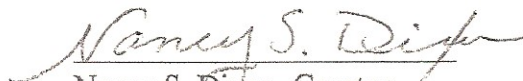
IN WITNESS WHEREOF the Grantor and the Grantees have executed this Deed and
Agreement of Easement.



Stephen A. Runyard, Grantor



Todd G. Dixon, Grantee



Nancy S. Dixon, Grantee

STATE OF COLORADO)
) ss.
COUNTY OF EL PASO)

Subscribed and sworn to before me this 17 day of August, 1998, by Stephen A. Runyard.

My Commission Expires: 12/13/2001

Chris Francisco
Notary Public

STATE OF Kansas)
) ss.
COUNTY OF Kingman)

Subscribed and sworn to before me this 29th day of August, 1998, by Todd G. Dixon.

My Commission Expires: 3/11/2002

Reggie L. Herbert
Notary Public

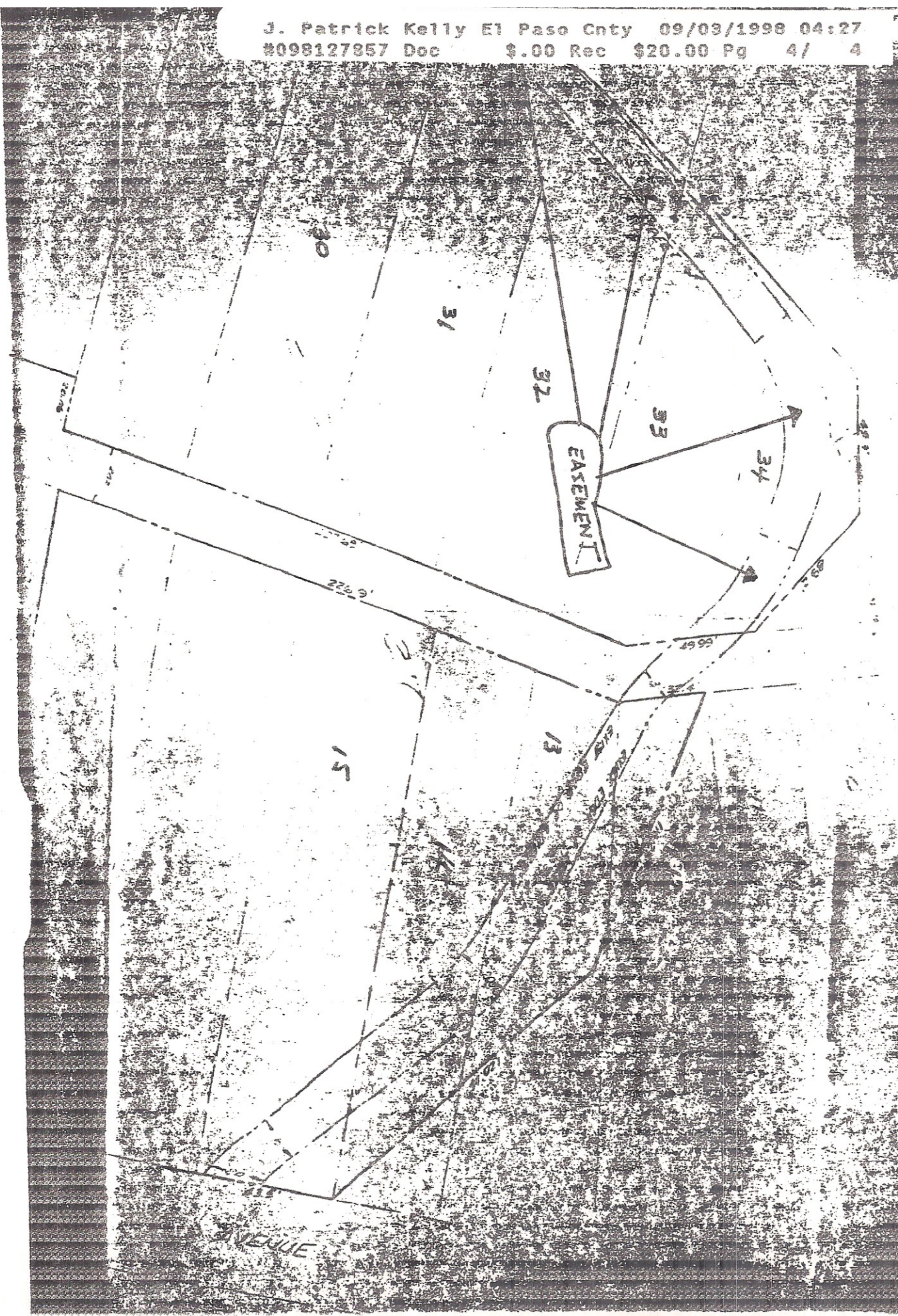
STATE OF Kansas)
) ss.
COUNTY OF Kingman)

Subscribed and sworn to before me this 29th day of August, 1998, by Nancy S. Dixon.

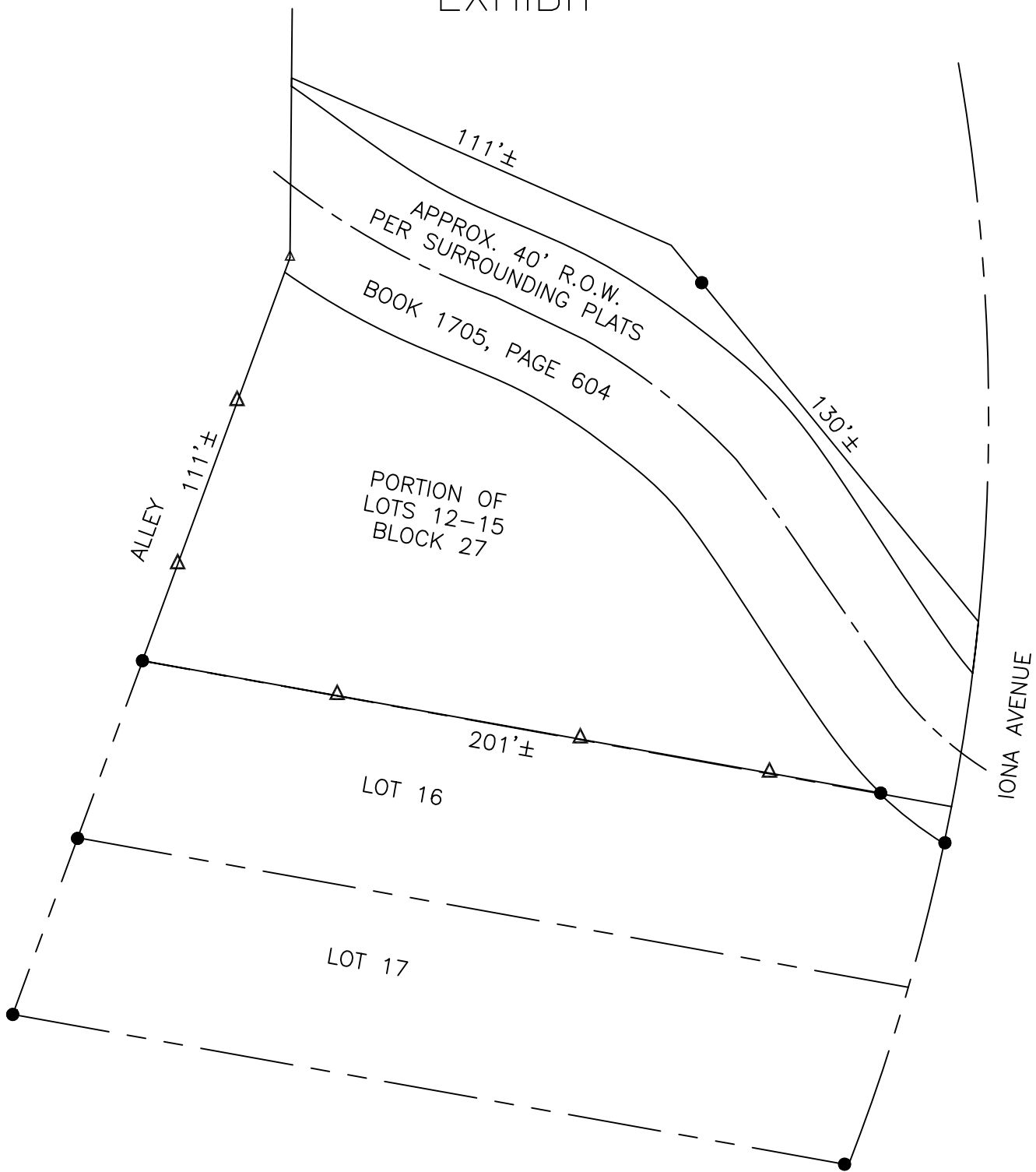
My Commission Expires: 3/11/2002

Reggie L. Herbert
Notary Public

3/11/2002

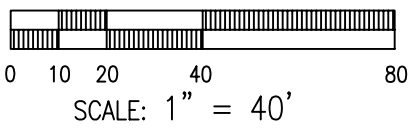
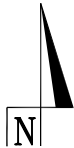


EXHIBIT



LEGEND

- LOT LINE
- ADJACENT LOT LINE
- LOCATED CENTERLINE
- FOUND PROPERT CORNER MONUMENTS
- SET POINT ON LINE (P.O.L.)



For and on Behalf of
Pinnacle Land Surveying Co., Inc.
John W. Towner
P.L.S. #25968

GREEN MOUNTAIN FALLS
THIRD ADDITION
A PORTION OF LOTS 12-15
BLOCK 27

PINNACLE LAND SURVEYING, INC.		
121 County Road 5, Divide, CO 80814		
EXHIBIT		
TITLE: A PORTION OF LOTS 12-15, BLOCK 27		
SCALE: 1"= 40'	DRAWN BY: MWW	FILE: 18d04300-EXH.DWG
DATE: 6/13/18	CHECKED BY: JWT	JOB NO. 18d04300

EXHIBIT

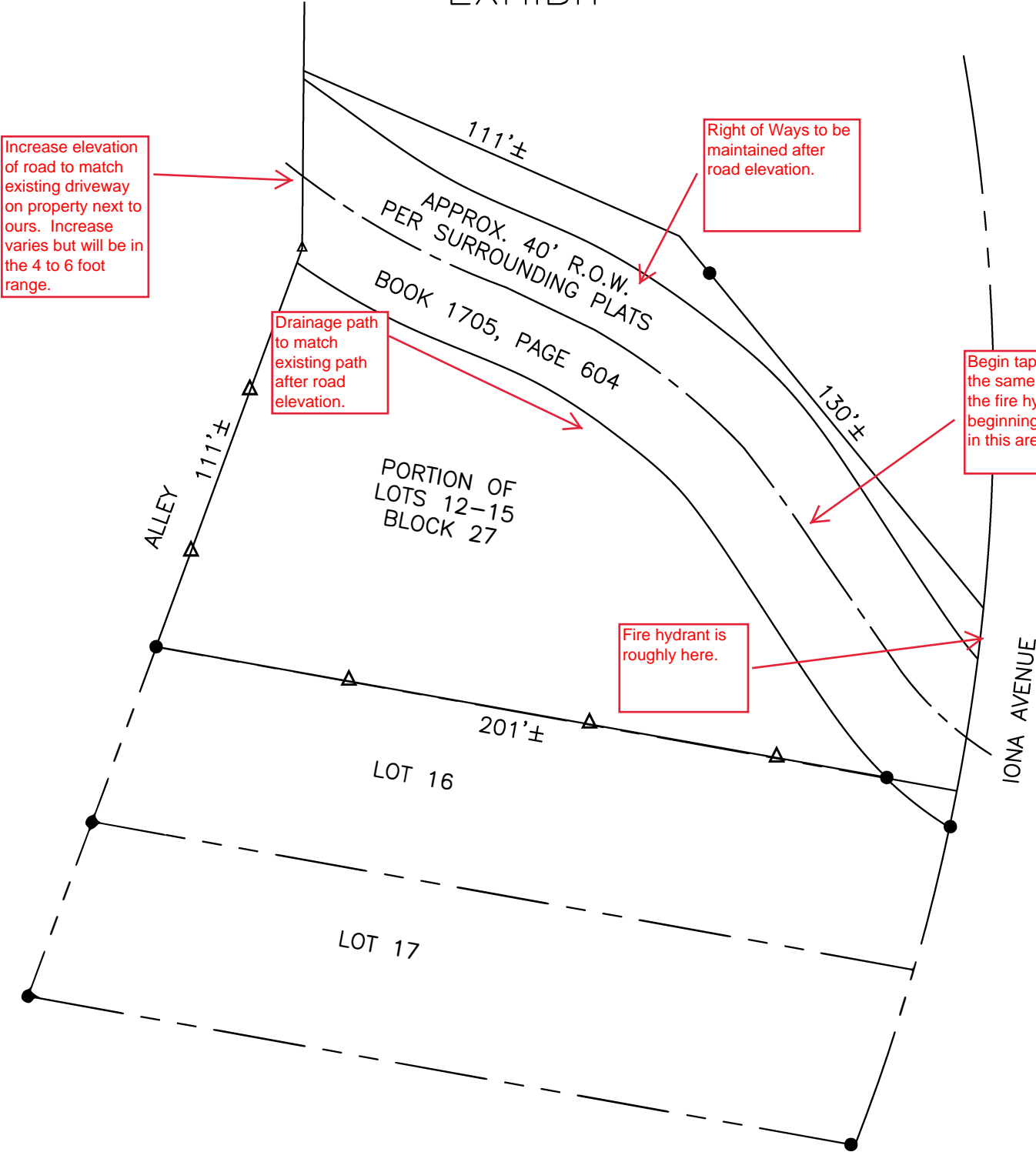
Increase elevation of road to match existing driveway on property next to ours. Increase varies but will be in the 4 to 6 foot range.

Drainage path to match existing path after road elevation.

Right of Ways to be maintained after road elevation.

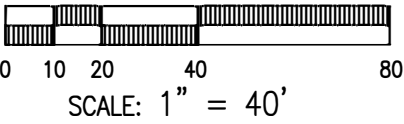
Begin tapering to the same level as the fire hydrant beginning roughly in this area.

Fire hydrant is roughly here.



LEGEND

- LOT LINE
- ADJACENT LOT LINE
- LOCATED CENTERLINE
- FOUND PROPERT CORNER MONUMENTS
- SET POINT ON LINE (P.O.L.)



For and on Behalf of
Pinnacle Land Surveying Co., Inc.
John W. Towner
P.L.S. #25968

PINNACLE LAND SURVEYING, INC.
121 County Road 5, Divide, CO 80814

EXHIBIT		
TITLE: A PORTION OF LOTS 12-15, BLOCK 27		
SCALE: 1"= 40'	DRAWN BY: MWW	FILE: 18d04300-EXH.DWG
DATE: 6/13/18	CHECKED BY: JWT	JOB NO. 18d04300



Existing elevation
of driveway next
to our property

Approximate elevation of the
road after elevation increase.



**WILSON
& COMPANY**

5755 Mark Dabbling Blvd., Ste. 220
Colorado Springs, CO 80919
719-520-5800 phone
719-520-0108 fax

Alaska
Arizona
California
Colorado
Illinois
Kansas
Louisiana
Minnesota
Missouri
Nebraska
New Mexico
Oklahoma
Texas
Utah

September 12, 2018

Jason S. Wells
Interim Town Manager
10615 Green Mountain Falls Road, Unit B
P.O. Box 524
Green Mountain Falls, CO 80819

RE: Public Road Improvement Request, Lots 12-15, Block 27, Third Edition

Dear Jason:

Per your request, I have reviewed the survey documents and photograph regarding the above mentioned property. My understanding is that the property owner desires to raise the elevation of the public road by as much as 6-feet or more adjacent to his property. The road exists as a 40' wide public road Right-of-Way as surveyed and recorded on a portion lots 12-15. The road profile change would begin near the fire hydrant at Iona Avenue intersection and increase to 6-feet higher than existing grade at the northerly end of the road and his property. The expectation is to maintain drainage ditches and conveyances in their current configuration and maintain current road Right-of-Way width and overall geometry after improvements. The purpose of the requested road profile change is assumedly to provide improved property access.

At a minimum, the town should require the property owner provide a road improvement plan and a drainage analysis to provide minor and major storm runoff and identify potential impacts that may be caused by the road improvements. A survey would also be required for the preparation of the road design and drainage analysis. The road improvement plan should include a plan and profile of the proposed road improvements, drainage improvements, and address existing utilities and possible relocations. The improvement plan and drainage analysis should be prepared and stamped by a Colorado Professional Engineer since the work is to be performed on a public road. The improvements would obviously continue well beyond this property assuming there is a 6-foot elevation differential at his northerly property line. Without analyzing the topography of more of the roadway, it is unknown the full extent of the road improvements and potential impacts to adjacent property. My concern without yet having inspected this location is how the property across the road may be adversely affected, as the roadway is very close to the adjacent property owner and appears to slope down to the north. A very preliminary opinion of probable cost for these services follows:

Site and road survey:	\$4,200
Road Improvement Plan:	\$3,950
Drainage Analysis:	\$4,800
 Total:	 \$12,950



SHARED OWNERSHIP • COLLABORATION
INTENSITY • DISCIPLINE • SOLUTIONS



I would recommend if the owner decides to pursue this, I will be glad to inspect the road and property, and provide more detailed requirements for the plans and reports, and a final estimate for services. Please contact me at 719-339-3841, or by my email, Andre.Brackin@wilsonco.com if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Andre Brackin", is written over a horizontal line.

André P. Brackin, PE
Senior Water Resources Project Manager

CC: Central Files

I hereby certify that this improvement location certificate was prepared for the mortgage lender* and the title insurance company, that it is not a land survey plat or improvement survey plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines. I further certify that the improvements on the above described parcel on this date, except utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted.

September 30, 1993

LEGAL DESCRIPTION

10700 Grand View Avenue

Lot 15 and Lot 14 in Block 28, in the Fourth Addition to Green Mountain Falls, except that portion thereof described as follows: Beginning at the most Easterly corner of said Lot 14; thence Southwesterly on the Southeasterly line of said Lot 14, a distance of 10 feet; thence Westerly on a straight line to a point on the Northwesternly line of said Lot 14, a distance of 50 feet Southwesterly thereon from the most Northerly corner of said Lot 14; thence Northeasterly on the Northwesternly line of said Lot 14, a distance of 50 feet to the most Northerly corner of said Lot 14; thence Southeasterly on the Northeasterly line of said Lot 14, a distance of 50 feet to the Point of Beginning, El Paso County, Colorado, according to the Plat thereof recorded in Plat Book C at Page 47B.

*First Eagle Mortgage/Associated Title Corp(23072)

dwg. no. R-6145 and/or assigns
scale: 1"=20'

Registered Land Surveyor

10/1/93



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT/LAND OWNER: WICKHAM'S WORKBENCH / SHAWN REIS (PROPERTY OWNER)

MAILING ADDRESS: 3604 GALLEY RD. STE 100
C/S, CO 80909

PHONE NUMBER: (719) 632-5117 EMAIL ADDRESS: WICKHAM'S WORKBENCH

SITE ADDRESS OR ASSESSOR PARCEL NUMBER: 10700 GRAND VIEW AVE, GREEN MTN. FALLS, CO 80819

DATE WORK IS TO BE STARTED: ASAP COMPLETED: APPROX. 1 MONTH

BRIEF PROJECT DESCRIPTION: REMOVE + REPLACE EXISTING DECK RAILING,
SURFACE, + STAIR. (NO STRUCTURAL OR FRAMING CHANGES.)

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required.

SIGNATURE [Signature]
DATE 4/18/19

TITLE OWNER OF WICKHAM'S WORKBENCH
(PROJECT CONTRACTOR)

*Reference Sections 16-705, 707, and 715, Sections 17-81, 85, 100 of Green Mountain Falls Municipal Code
Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls

For office use:

Fee Amount: _____ Date Collected: (due 10 days before PC meeting) _____

Payment Type: _____

Independent Engineering Review Date (if applicable) : _____

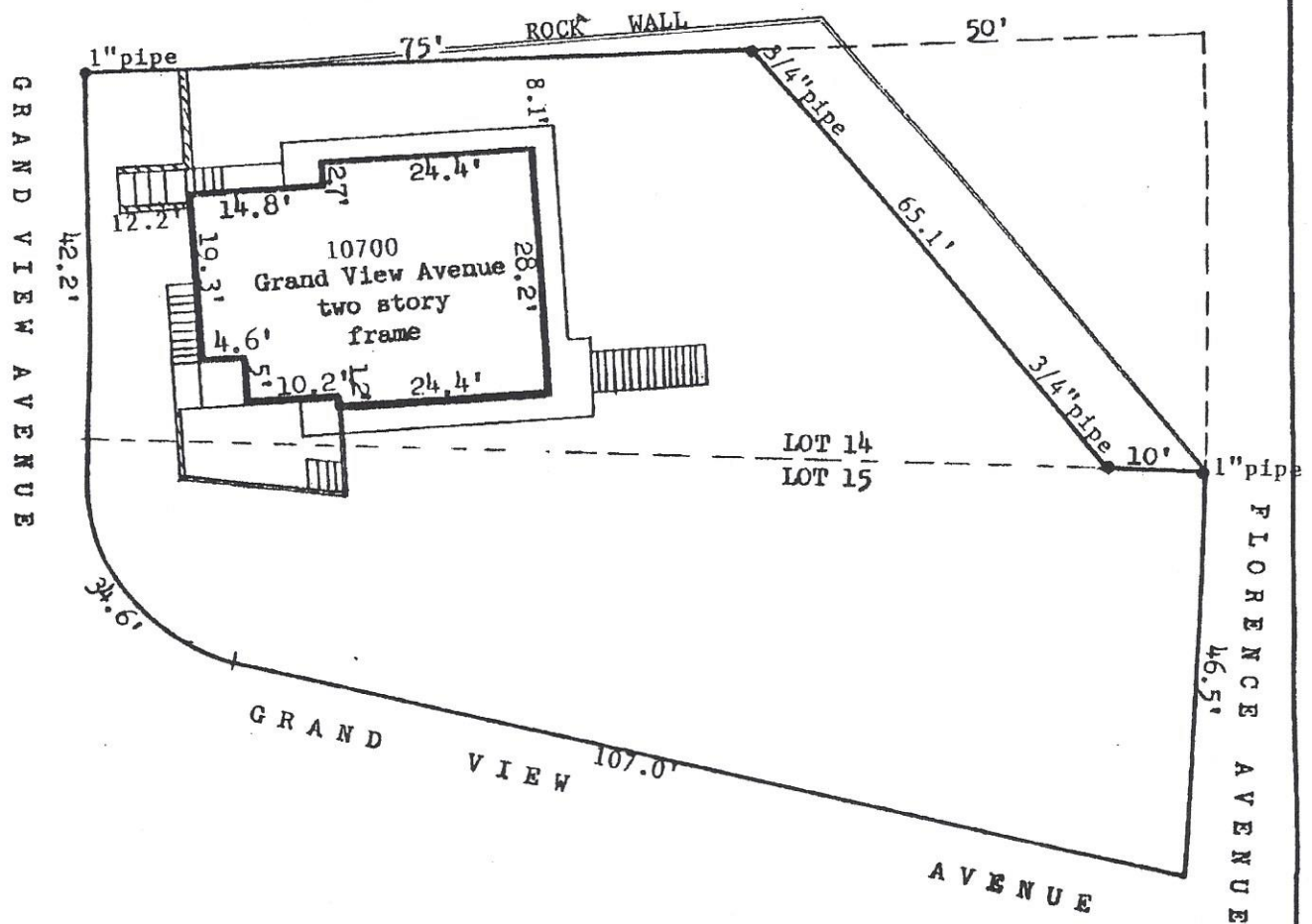
Planning Commission Action/Date (attach minutes) : _____

BOT Approval Date: _____

Improvement Location Certificate

Simonson Surveying, Inc.

Colorado Springs, Colorado



TRANSACTION SUMMARY

TRANSACTION TYPE: SALE

PAYMENT ITEM	REFERENCE NUMBER	AMOUNT
NPS Convenience Fee		\$3.31
Permit Fees		\$125.00
TOTAL:		\$128.31

TOWN OF GREEN MOUNTAIN FALLS, CO - GENERAL FUND
10615 Green Mountain Falls Road
Green Mountain Falls,CO 80819
719-684-9414

Gregory Wickham Wickhams Workbench

Transaction Number:	5034048
Date Processed:	04/18/2019 08:55:35 MDT
Transaction Type:	Credit Card
VISA - Key Entered	CardNumber: *****6227
Authorization:	018132
Reference Number:	00260033
Permit Fees	\$125.00
Total:	\$125.00

I agree to pay above total amount according to the card issuer agreement.

Signature: _____

Thank You
MUNICIPALITY*SERVICE FEE - TOWN OF GREEN MOUNTAIN FALLS, CO
511 Congress Street, Suite 503
Portland,ME 04101
(877) 590-5097

Gregory Wickham Wickhams Workbench

Transaction Number:	5034048
Date Processed:	04/18/2019 08:55:35 MDT
Transaction Type:	Credit Card
VISA - Key Entered	CardNumber: *****6227
Authorization:	018384
Reference Number:	00260031
Convenience Fee	\$3.31
Total:	\$3.31

I agree to pay above total amount according to the card issuer agreement & understand this non-refundable convenience fee will be charged to allow my payment via credit card.

Signature: _____

Thank You
Printed: 04/18/2019 10:55:39



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT: DAVID THOMPSON WINDS OF CHANGE CONTRACTORS INC.

MAILING ADDRESS: 4711 LAURESTA DR.
CO SPRINGS CO. 80918

PHONE NUMBER: 719-491-4151 EMAIL ADDRESS: DAVID@WCCINC.COM

SITE ADDRESS OR PARCEL NUMBER: 10615 ILLINOIS AVE.

DATE WORK IS TO BE STARTED: 15 APRIL 2019 COMPLETED: 15 MAY 2019

BRIEF PROJECT DESCRIPTION: ADD DECK 376 SF

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required.

David Thompson President
SIGNATURE TITLE
DATE 15 APR 19

*Reference Sections 16-705, 707, and 715, Sections 17-81, 85, 100 of Green Mountain Falls Municipal Code
Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

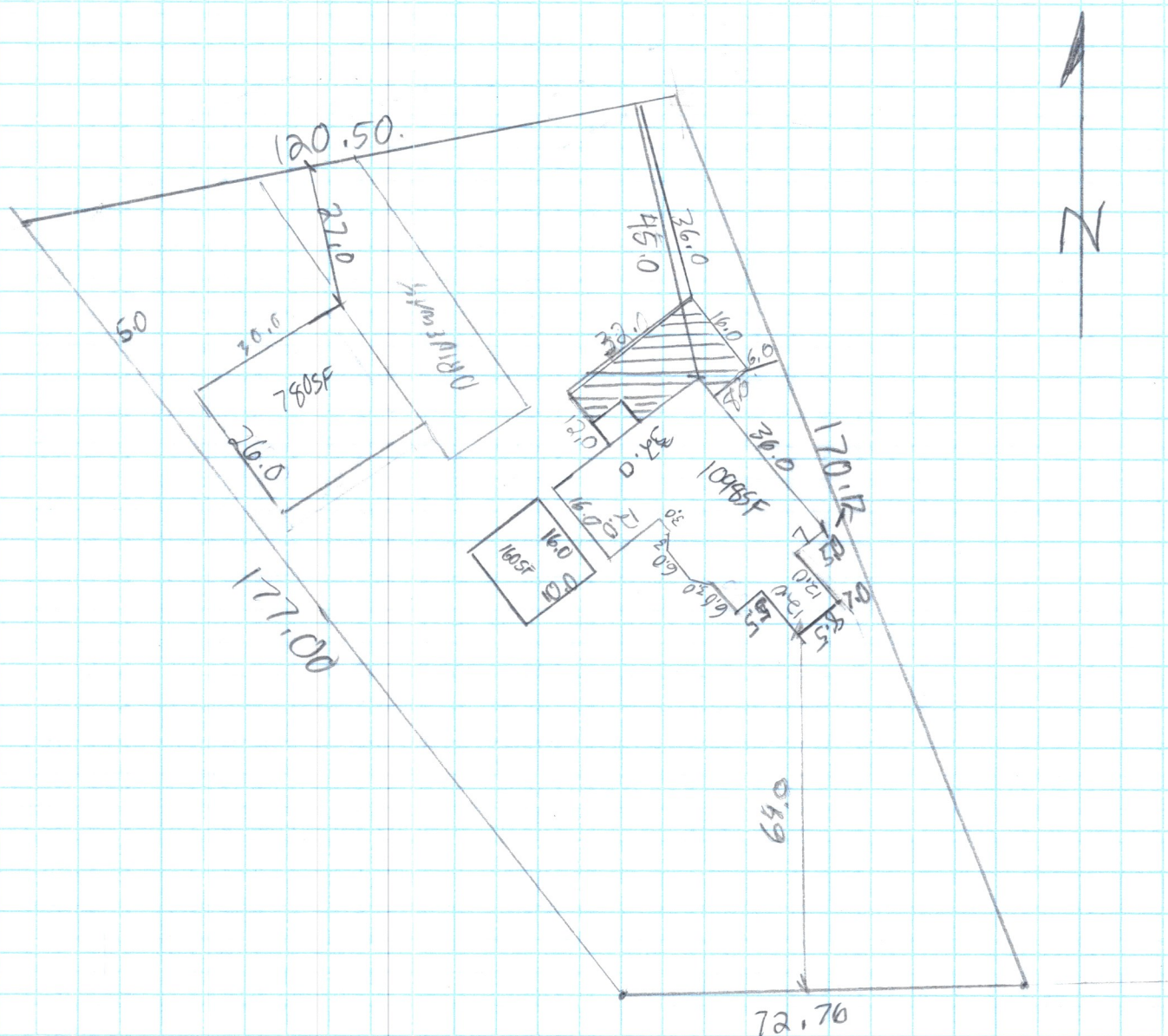
Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls

For office use:

Fee Amount: 125.00 Date Collected: (due 10 days before PC meeting) 4/15/19
Payment Type: check
Independent Engineering Review Date (if applicable): NA
Planning Commission Action/Date (attach minutes): _____
BOT Approval Date: NA

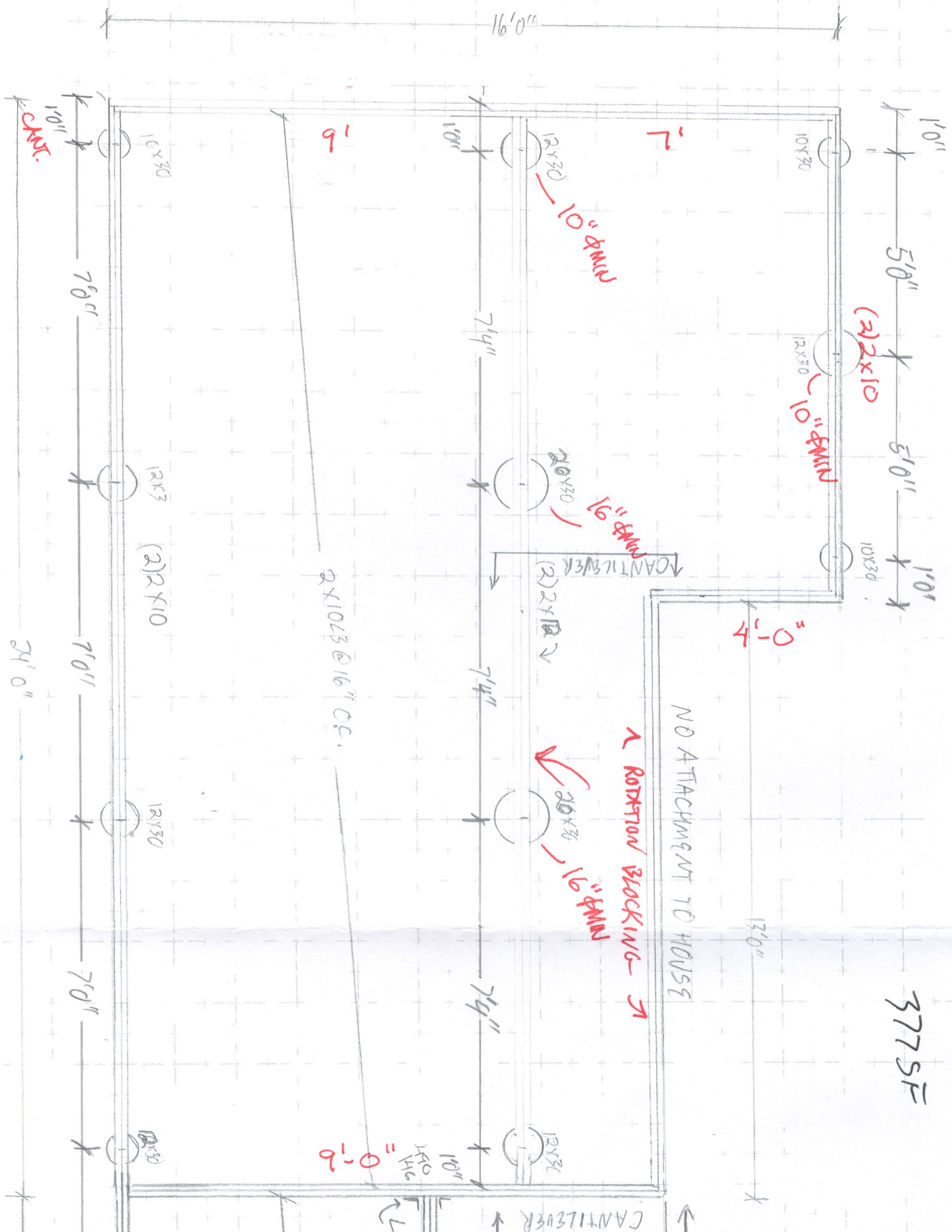
LOT SIZE: 18250.65 SF
BLD SIZE: 2038 SF
DECK SIZE: 381 SF
TOTAL BLD SIZE: 2419 SF
% LOT COVERAGE: 13.25%

DOUG + DEBBY HYDEMAN
10615 ILLINOIS AVE
PLAT 32
LOT 2, 3
BLOCK 9
GREEN MOUNTAIN FALLS ADD 1



SCALE 30:1'

3775F



377 SF

DECKING: COMPOSITE
(PERF.)

NO ATTACHMENT TO HOUSE

ROTATION BLOCKING →

20x30 16" MIN

7'4"

7'4"

9'-0" 140 146

CANTILEVER

2'-0" PORCH

2'-0"

2x10-2 (2) 2x10

2x10 L3 @ 16" OC

STAIRS
DOWN

L70

10x30

10x30

6x6 POST
(TYP.)

7'-0"

L70

1'0" CAST

12x30

12x30

10x30

7'-0"

7'-0"

7'-0"

7'-0"

Released for Permit
APR 12 2019
DJA
RCD Construction

JOB NAME & LOCATION	
DOUG & DEBBIE HYDEMAN	
106015 ILLINOIS AVE	
ISSUE / DATE	
DATE	
SCALE	
SHEET NUMBER	

DECK ATTACHMENT SHEET

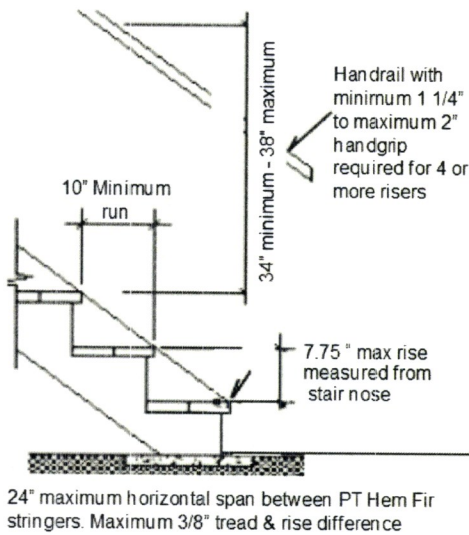
This document is to remain with your plans at all times

PROJECT ADDRESS: 10615 Illinois Ave

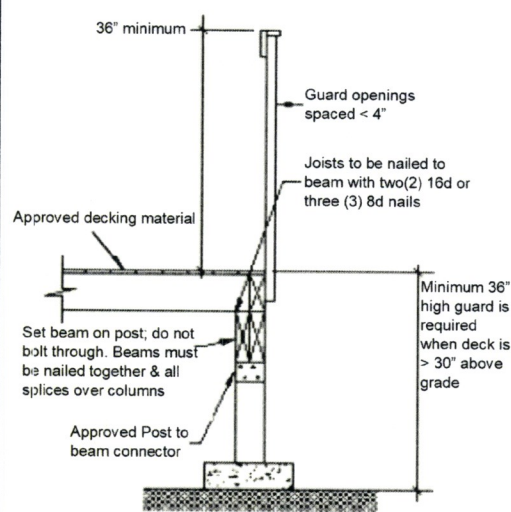
YES NO

- ☐ ☒ DECK DESIGN INCLUDES A SOLID COVER OR PERGOLA STYLE COVER
- ☐ ☒ ELECTRICAL SERVICE AND METER LOCATION MAY BE AFFECTED BY DECK, RECOMMEND DISCUSSION WITH ELECTRICAL DEPARTMENT IF YES.
- ☐ ☒ DECK SUPPORTS HOT TUB OR SPA LOADING
- ☐ ☒ DECK IS SUPPORTED BY CANTILEVER AT HOUSE EXISTING INVERTED HANGER INSTALLATION WAS VERIFIED OR ENGINEERING WAS PROVIDED

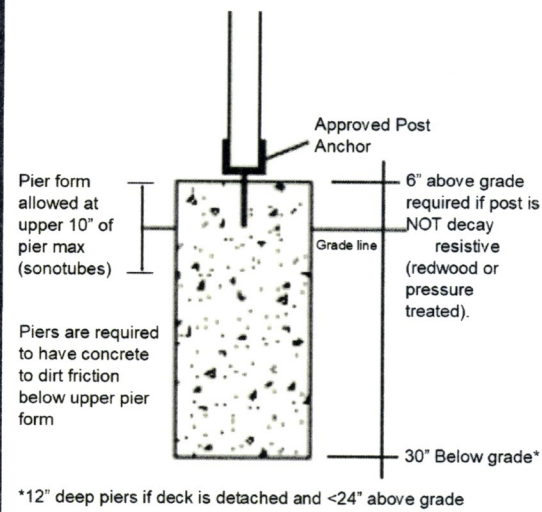
USE LISTED JOIST HANGERS TO MATCH JOIST SIZE AND PROVIDE LISTED HARDWARE AT POST CAP AND BASE.
INSTALL ALL LISTED PRODUCTS PER THE MANUFACTURER'S RECOMMENDATIONS (USP/SIMPSON/ETC..)



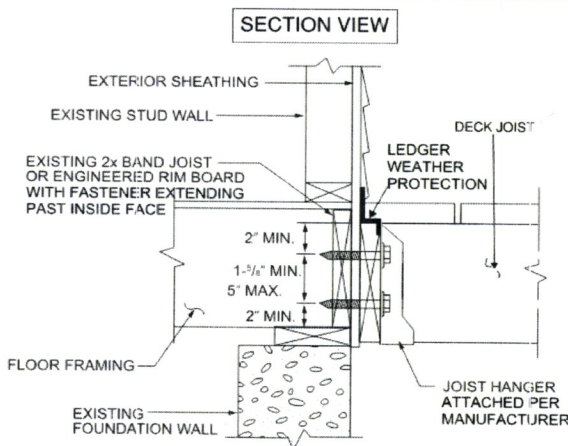
STAIR DETAILS



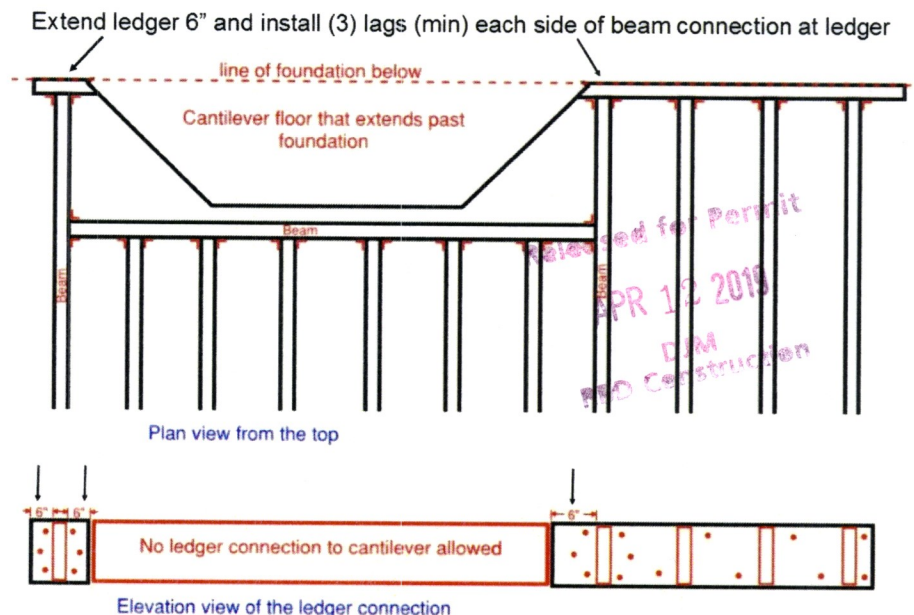
GUARD DETAILS



FOOTING DETAILS



LEDGER DETAILS



CANTILEVER DETAILS



The Town of Green Mountain Falls

P.O. Box 524, 10615 Green Mountain Falls Road, Green Mountain Falls, CO 80819
(719) 684-9414 www.gmfco.us

2019 APPLICATION –PLAN REVIEW

*Payment to Town Clerk due 10 days prior to a Planning Commission meeting to ensure placement on the Agenda

*Must be accompanied by a site plan, and appropriate town permit application for the work to be completed, if applicable

*all plans should be submitted to the town clerk (in electronic form) at time of payment

APPLICANT: DAVID THOMPSON WINDS OF CHANGE CONTRACTORS INC.

MAILING ADDRESS: 4711 LA CRESTA DR,
CO SPRINGGS CO. 80919

PHONE NUMBER: 719-491-4151 EMAIL ADDRESS: DAVID@WOCINC.COM

SITE ADDRESS OR PARCEL NUMBER: 6885 PARK AVE

DATE WORK IS TO BE STARTED: APRIL 15, 2019 COMPLETED: JUNE 1, 2019

BRIEF PROJECT DESCRIPTION: REPLACE EXISTING DECK 420SF

*If the project includes road work, an Erosion Control Plan/Grading Permit may be required. NA

David Thompson PRESIDENT
SIGNATURE TITLE
DATE 15 APR 19

*Reference Sections 16-705, 707, and 715, Sections 17-81, 85, 100 of Green Mountain Falls Municipal Code Fee can be found in the current year fee schedule on our website under Forms

Examples of required Permits:

Fence Permit, Grading Permit (with erosion control plan), Revocable Permit,
Business License – to work in the Town of Green Mountain Falls ✓

For office use:

Fee Amount: 125.00 Date Collected: (due 10 days before PC meeting) 4/15/19
Payment Type: check 1477
Independent Engineering Review Date (if applicable): NA
Planning Commission Action/Date (attach minutes): _____
BOT Approval Date: NA

LOT SIZE : 8510.06 SF

Bld Size : 1549 SF

DECK SIZE: 676 SF

TOTAL BLD: 2225 SF

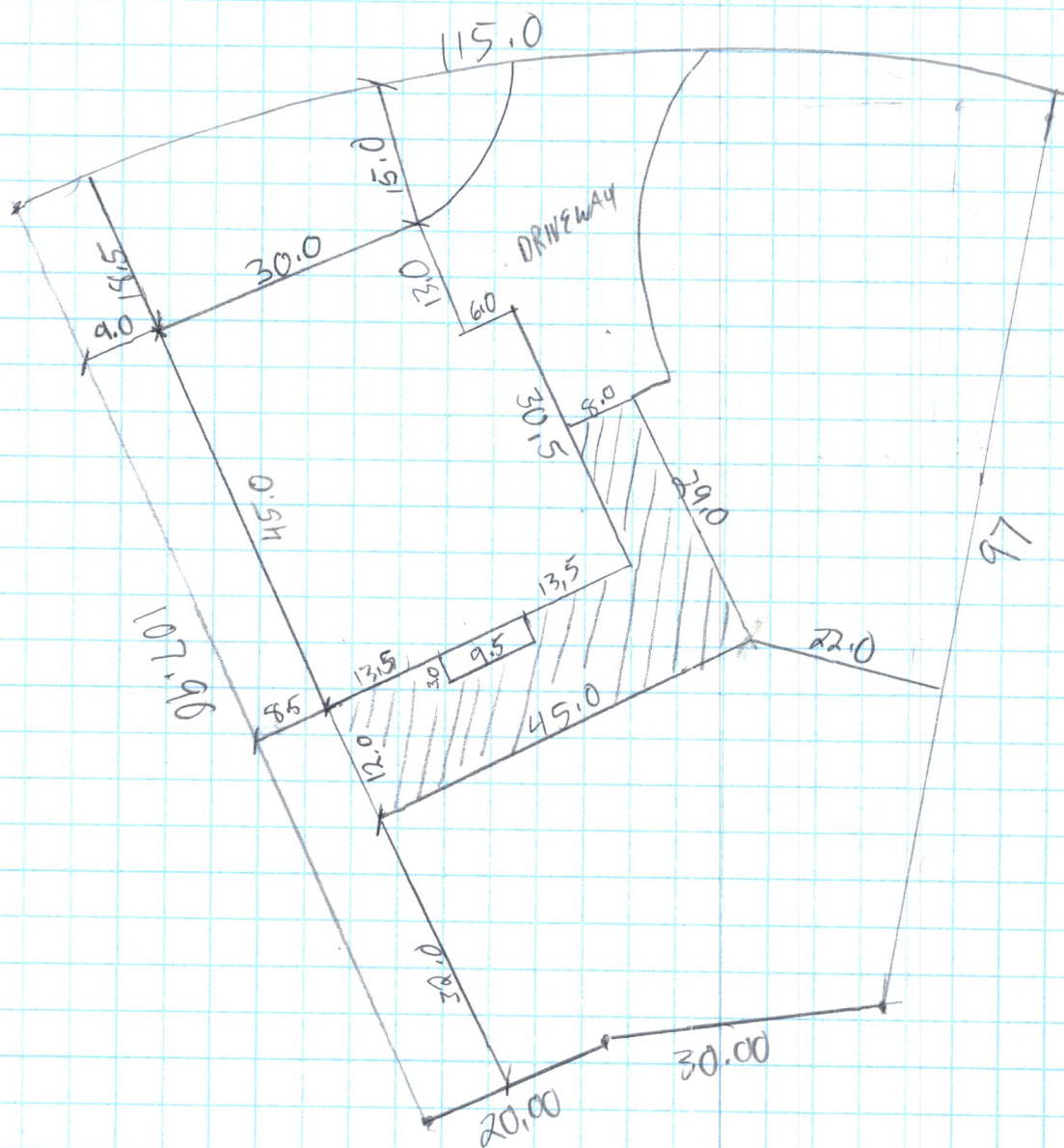
LOT COVERAGE: 26.08%

DOUG + DEBBY HYDEMAN

6885 PARK AVE

LOT 13, 14 DOUGLASS

SUB OF HOTEL PARK



SCALE: 20

DECK ATTACHMENT SHEET

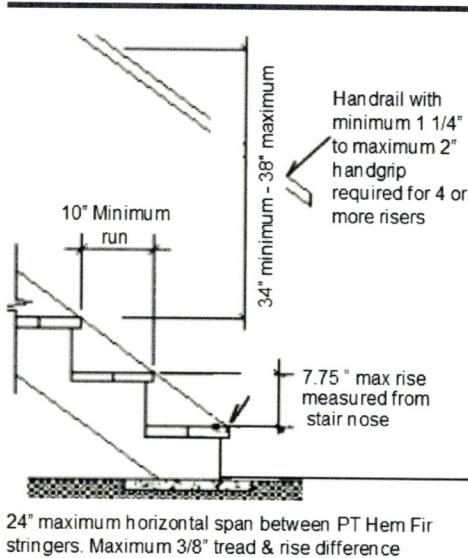
This document is to remain with your plans at all times

PROJECT ADDRESS: 6885 Park Ave

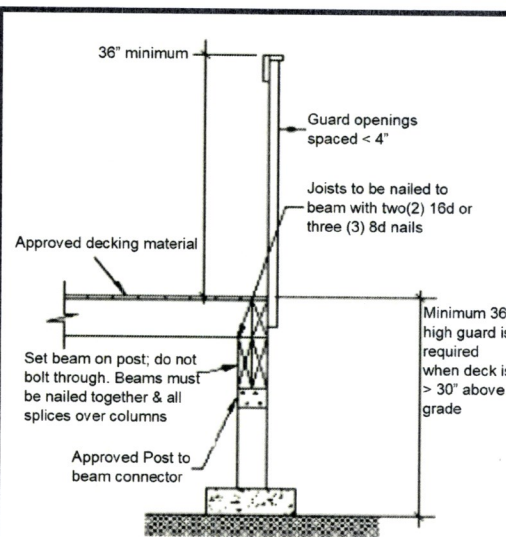
YES NO

- ☐ ☒ DECK DESIGN INCLUDES A SOLID COVER OR PERGOLA STYLE COVER
- ☐ ☒ ELECTRICAL SERVICE AND METER LOCATION MAY BE AFFECTED BY DECK, RECOMMEND DISCUSSION WITH ELECTRICAL DEPARTMENT IF YES.
- ☐ ☒ DECK SUPPORTS HOT TUB OR SPA LOADING
- ☐ ☒ DECK IS SUPPORTED BY CANTILEVER AT HOUSE EXISTING INVERTED HANGER INSTALLATION WAS VERIFIED OR ENGINEERING WAS PROVIDED

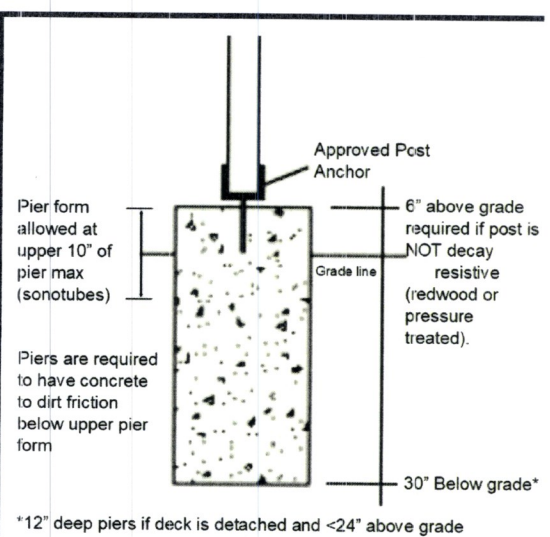
USE LISTED JOIST HANGERS TO MATCH JOIST SIZE AND PROVIDE LISTED HARDWARE AT POST CAP AND BASE.
INSTALL ALL LISTED PRODUCTS PER THE MANUFACTURER'S RECOMMENDATIONS (USP/SIMPSON/ETC..)



STAIR DETAILS

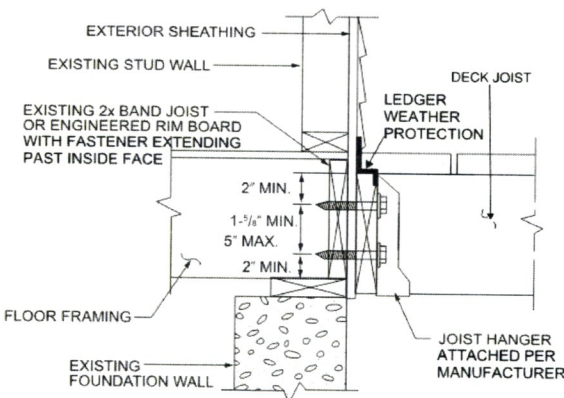


GUARD DETAILS

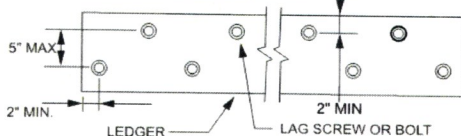


FOOTING DETAILS

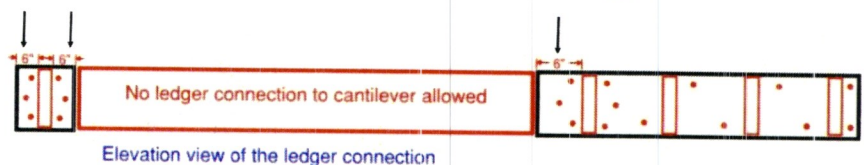
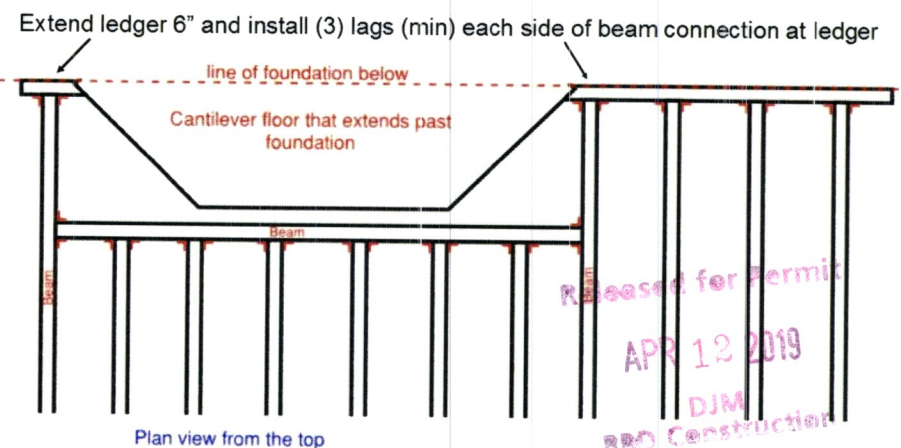
SECTION VIEW



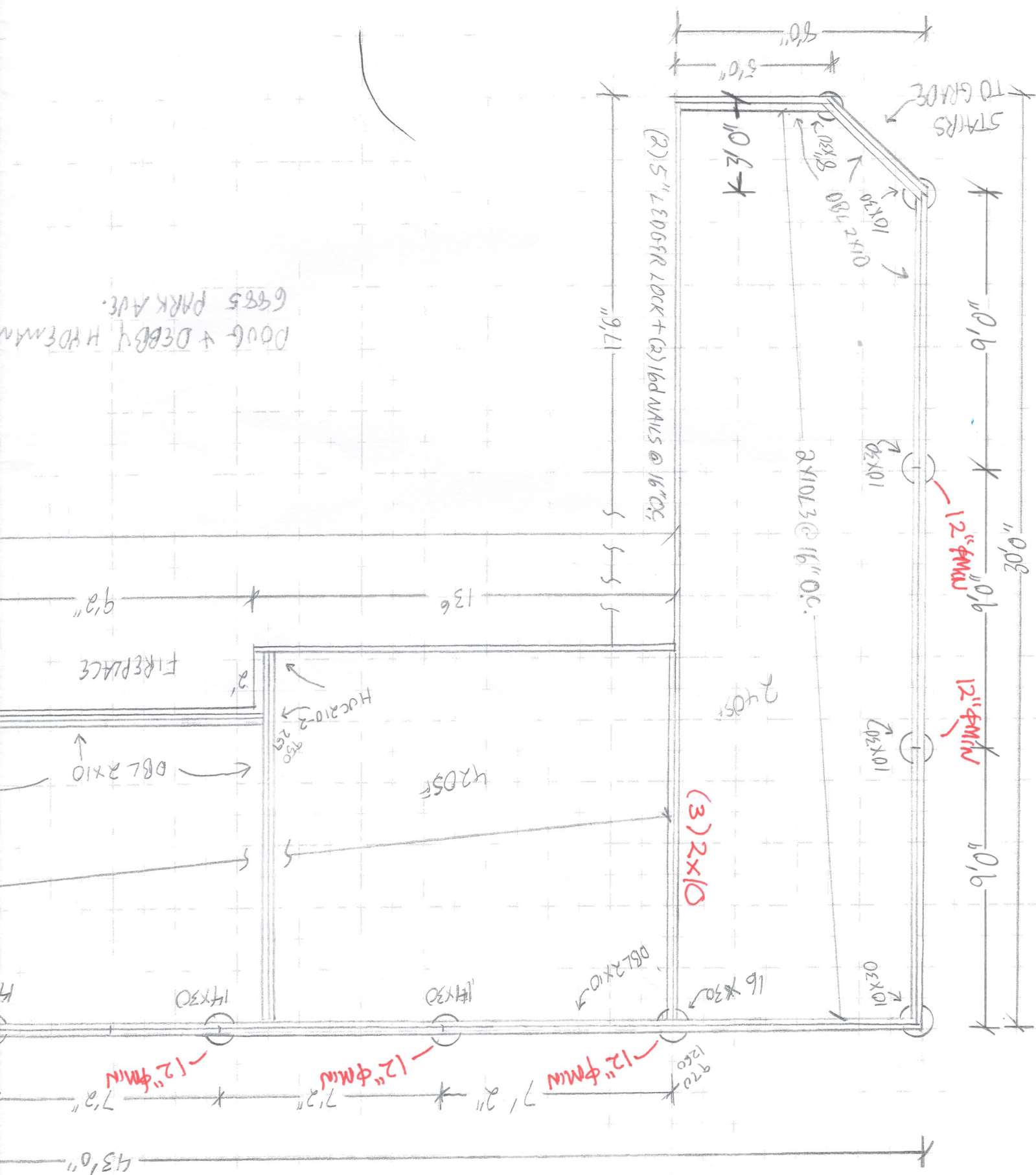
ELEVATION VIEW

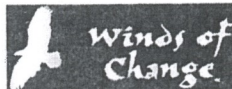


LEDGER DETAILS



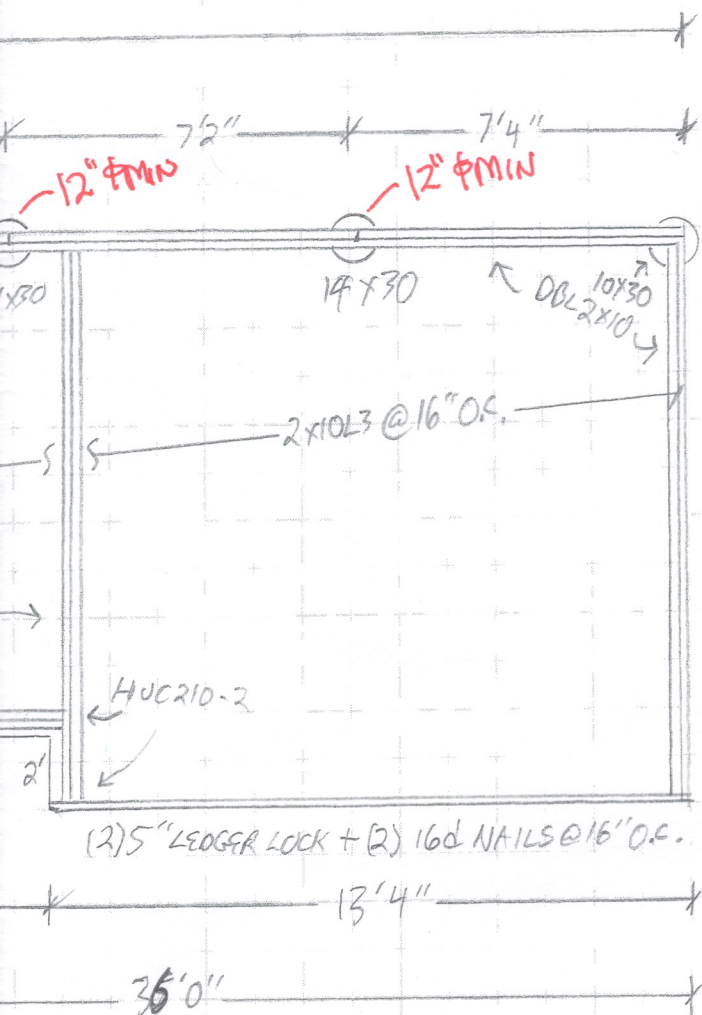
CANTILEVER DETAILS





4711 La Cresta DR.
Colorado Springs CO 80918
Tel. Phone (719) 491-4151
Email: David@wocinc.com
Website www.wocinc.com

General Notes:



DECKING: COMPOSITE INFINITY
(PERP.)

Released for Permit

APR 12 2019

DJM
RBD Construction

LOT NAME & LOCATION

DOUG + DEBBY HYDEMAN
6885 PARK AVE
GREEN MOUNTAIN FALLS 80819

ISSUE / DATE

DATE

SCALE

SHEET NUMBER

TOWN OF GREEN MOUNTAIN FALLS

ORDINANCE NO. 2019-02

AN ORDINANCE REPEALING AND REENACTING SECTION 16-711 OF THE GREEN MOUNTAIN FALLS MUNICIPAL CODE CONCERNING ZONING AMENDMENTS

WHEREAS, the Board of Trustees desires to simplify its rezoning process.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE TOWN OF GREEN MOUNTAIN FALLS, COLORADO:

Section 1. Section 16-711 of the Green Mountain Falls Municipal Code is hereby repealed and reenacted to read as follows:

Sec. 16-711. – Zoning Amendments

(a) Initiation of zoning changes. A rezoning may be initiated by the Town, by an initiative petition, or by application of the fee owners of the property that is the subject of the rezoning.

(b) Submittal requirements. An application for rezoning shall include the following, as applicable:

- (1) Proof of ownership of the subject property satisfactory to the Town;
- (2) The reason for the change in zone classification;
- (3) The total number of acres in the requested area;
- (4) The number of apartment buildings;
- (5) The number of dwelling units per building;
- (6) The number of dwelling units per acre;
- (7) The number of industrial sites proposed;
- (8) Typical lot sizes: length and width;
- (9) Acres and percent of land to be set aside as open space, not to include parking, drives and access roads;
- (10) Type of proposed recreational facilities;
- (11) If phased construction is proposed, how it will be phased;

- (12) Anticipated schedule of development;
- (13) How water and sewer will be provided;
- (14) Proposed uses, relationship between uses and densities; and
- (15) Legal description and drawing. The drawing shall be at a scale suitable to describe the information required and shall include:
 - a. Boundary description of the land to be zoned which shall illustrate the legal description;
 - b. Existing land uses on the property;
 - c. Adjoining property ownership and use;
 - d. Existing and proposed structures;
 - e. Existing and proposed easements; and
 - f. Name and addresses of the petitioner, owners of all interest in the property and the preparer.

(c) Procedure.

(1) Public hearing. The Planning Commission shall conduct a public hearing on the application within seventy-five (75) days of the filing of a complete application and prepare recommendations for the Board of Trustees. After receipt of the Planning Commission recommendation, the Board of Trustees shall conduct a public hearing and render a decision.

(2) Criteria. The Town shall consider whether the rezoning complies with at least one of the following criteria:

- a. The proposed rezoning furthers the goals and policies of the Comprehensive Plan;
- b. The rezoning is consistent with the purpose statement of the proposed zoning district;
- c. There have been significant changes in the area to warrant a zoning change; or
- d. There was an error in establishing the current zoning.

(3) Notice. Notice of the public hearings shall be provided by posting the property and by publication in an official paper or paper of general circulation in the Town at least fifteen (15) days prior to the public hearing. The notice shall describe the time and place of the hearing, the nature of the application, and the subject property.

(d) Protests.

(1) If a valid petition opposing a change in zoning classification is filed with the Town, the proposed amendment may then only be adopted by a favorable vote of two-thirds of all members of the Board of Trustees.

(2) To be valid, the petition shall:

a. Be signed by the owners of either ten percent (10%) or more of the property subject to the proposed change; or by ten percent (10%) or more of the area of land extending a radius of five hundred (500) feet from the boundaries of the property which is subject to the proposed change;

b. Be received by the Town at least twenty-four (24) hours prior to the public hearing before the Board of Trustees; and

c. Be on a form provided by the Town and containing all the information requested on the form.

Section 2. Safety Clause. The Board of Trustees hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Green Mountain Falls, that it is promulgated for the health, safety and welfare of the public and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Board of Trustees further determines that this Ordinance bears a rational relation to the proper legislative object sought to be attained.

Section 3. Severability. If any clause, sentence, paragraph, or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

Section 4. Effective Date. This Ordinance shall be effective thirty (30) days after passage.

INTRODUCED AND ORDERED PUBLISHED the ____ day of _____, 2019, at the Green Mountain Falls Town Hall, 10615 Green Mountain Falls Road, Green Mountain Falls, Colorado.

ADOPTED AND ORDERED PUBLISHED the ____ day of _____, 2019.

Jane Newberry, Mayor

ATTEST:

Laura Kotewa, Town Clerk/Treasurer

Published in the Pike Peaks Courier, _____ 2019.

TOWN OF GREEN MOUNTAIN FALLS

ORDINANCE NO. 2019-03

AN ORDINANCE REZONING THE TOWN HALL PROPERTY FROM BUSINESS TO PUBLIC FACILITY

WHEREAS, the Town owns a parcel of property located within the Town upon which the Town Hall is located, which has a legal description of Lot 1 The Amended Green Mountain Falls Fire Station Sub, County of El Paso, State of Colorado (“the Parcel”);

WHEREAS, the Town desires to rezone the Parcel from its current zoning of Business District (B) to the Public Facilities District (PF);

WHEREAS, the requirements for an amendment to the zoning districts are set forth in Section 16-711 of the Green Mountain Falls Municipal Code;

WHEREAS, the Planning Commission held a public hearing and provided comments on the application to rezone the Parcel on March 12, 2019;

WHEREAS, notice of the public hearing before the Board of Trustees was properly posted and published; and

WHEREAS, the Board of Trustees, upon reviewing the comments of the Planning Commission, hearing the statements of staff and the public, and giving due consideration to the matter, determines as provided below.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE TOWN OF GREEN MOUNTAIN FALLS, COLORADO:

Section 1. The Board of Trustees, having found and determined that the proposed rezoning is consistent with the Green Mountain Falls Comprehensive Plan, the Parcel is hereby rezoned to Public Facilities District (PF). Pursuant to Section 16-302(c) of the Green Mountain Falls Municipal Code, staff is directed to update the Town’s zoning map to reflect this amendment with seven working days of the effective date of this Ordinance.

Section 2. Safety Clause. The Board of Trustees hereby finds, determines and declares that this Ordinance is promulgated under the general police power of the Town of Green Mountain Falls, that it is promulgated for the health, safety and welfare of the public and that this Ordinance is necessary for the preservation of health and safety and for the protection of public convenience and welfare. The Board of Trustees further determines that this Ordinance bears a rational relation to the proper legislative object sought to be attained.

Section 3. Severability. If any clause, sentence, paragraph, or part of this Ordinance or the application thereof to any person or circumstances shall for any reason be adjudged by a court of competent jurisdiction invalid, such judgment shall not affect application to other persons or circumstances.

Section 4. Effective Date. This Ordinance shall be effective thirty (30) days after passage.

INTRODUCED AND ORDERED PUBLISHED the 19 day of March, 2019, at the Green Mountain Falls Town Hall, 10615 Green Mountain Falls Road, Green Mountain Falls, Colorado.

ADOPTED AND ORDERED PUBLISHED the 2 day of April, 2019.

Tyler Stevens, Mayor Pro Tem

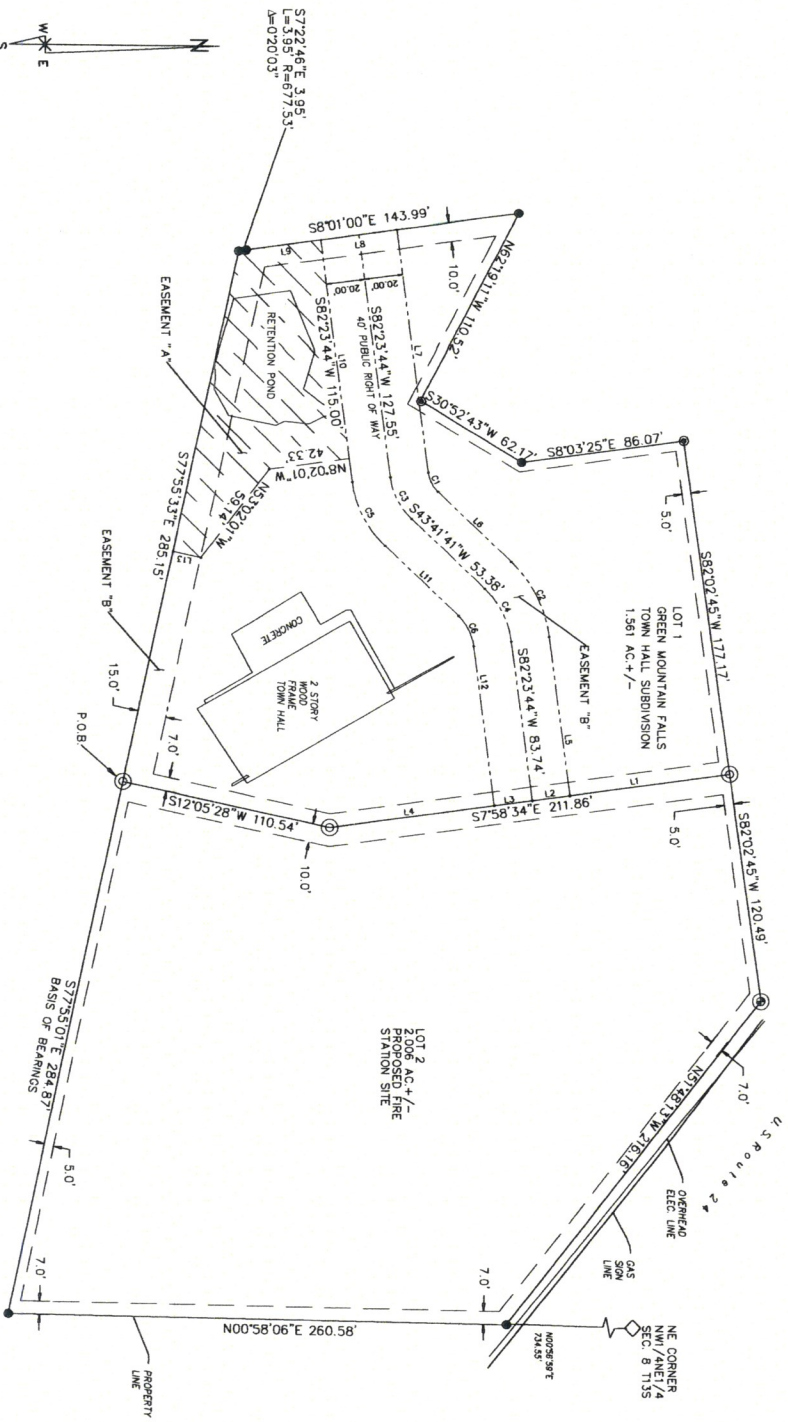
ATTEST:

Laura Kotewa, Town Clerk/Treasurer

Published in the Pike Peaks Courier, April 10, 2019.

AMENDED GREEN MOUNTAIN FALLS FIRE STATION SUBDIVISION

A REPLAT OF LOT 1, LOT 2A AND LOT 2B, GREEN MOUNTAIN FALLS TOWN HALL
SUBDIVISION, RECEPTION NO 214713433, PART OF THE NW¼NE¼ SEC.8, TOWNSHIP 13
SOUTH, RANGE 68 WEST, 6TH PM GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO
SHEET 2 OF 2



LEGEND:

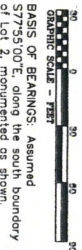
- FOUND PLASTIC CAPPED REBAR STAMPED PLS 26965, APPARENT ORIGINAL MONUMENT
- FOUND ALUMINUM CAPPED REBAR STAMPED PLS 26956, APPARENT ORIGINAL MONUMENT
- FOUND 1/2" REBAR, APPARENT ORIGINAL MONUMENT
- SET ALUMINUM CAPPED 1/2" REBAR STAMPED PLS 25971
- FOUND ALUMINUM CAPPED REBAR, ILLEGIBLE, POSITIONED AS PER MONUMENT RECORDS

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	11.48	17.00	N63°02'43"E	11.27
C2	45.26	67.00	N63°02'43"E	44.40
C3	44.99	67.00	N63°02'43"E	24.52
C4	31.75	67.00	N63°02'43"E	31.15
C5	18.24	27.00	N63°02'43"E	17.89

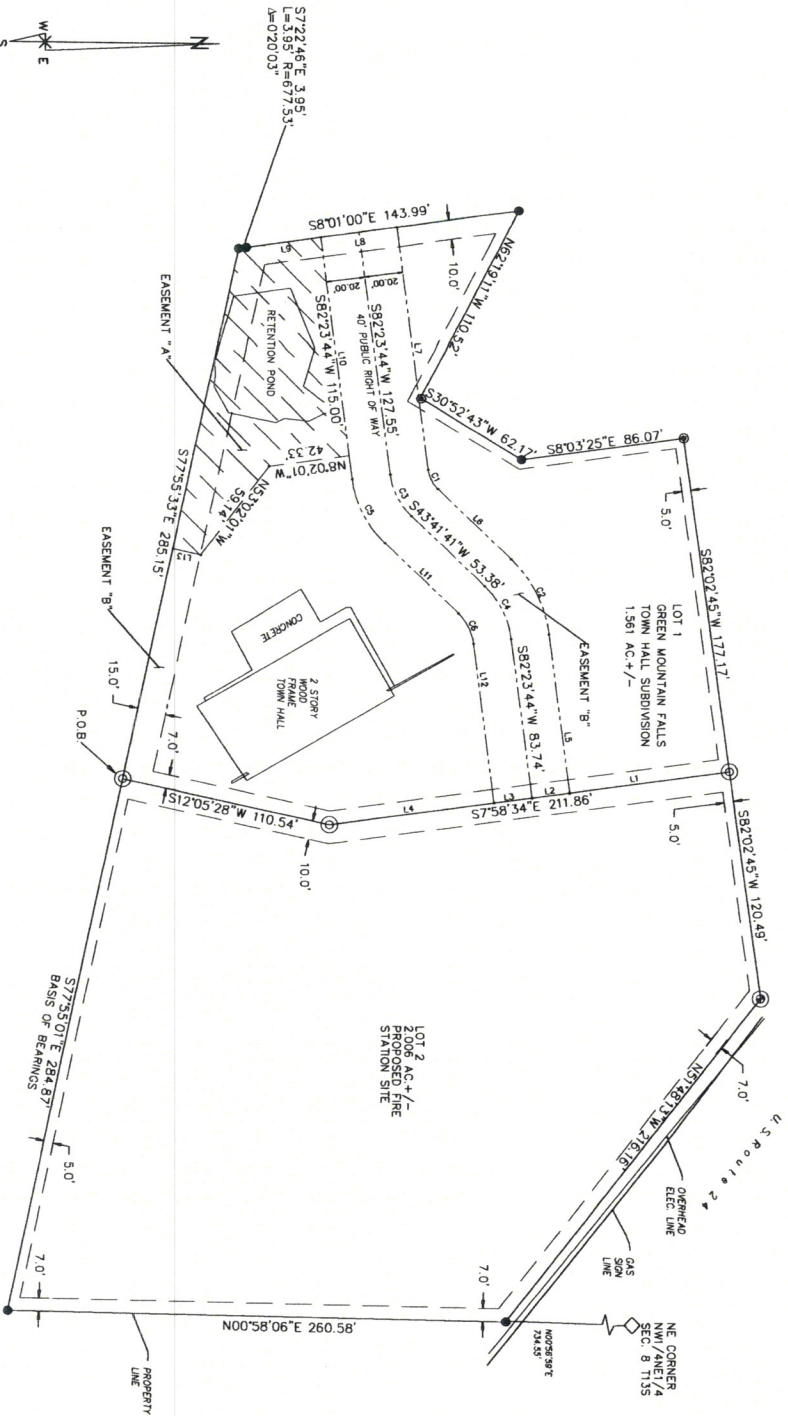
LINE TABLE

LINE	LENGTH	BEARING
L1	84.71	S87°58'54"W
L2	20.00	S07°58'54"W
L3	87.00	S07°58'54"W
L4	63.81	S82°23'44"W
L5	63.81	S82°23'44"W
L6	53.38	S43°41'41"W
L7	127.70	S08°01'28"E
L8	40.00	S08°01'28"E
L9	39.41	N43°41'41"E
L10	115.01	N43°41'41"E
L11	53.38	N82°28'28"E
L12	83.67	S12°04'28"W
L13	15.01	S12°04'28"W



AMENDED GREEN MOUNTAIN FALLS FIRE STATION SUBDIVISION

A REPLAT OF LOT 1, LOT 2A AND LOT 2B, GREEN MOUNTAIN FALLS TOWN HALL
SUBDIVISION, RECEPTION NO 214713433, PART OF THE NW¼NE¼ SEC.8, TOWNSHIP 13
SOUTH, RANGE 68 WEST, 6TH PM GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO
SHEET 2 OF 2



LEGEND:

- FOUND PLASTIC CAPPED REBAR STAMPED PLS 28955, APPARENT ORIGINAL MONUMENT
- FOUND ALUMINUM CAPPED REBAR STAMPED PLS 28954, APPARENT ORIGINAL MONUMENT
- FOUND 1/2" REBAR, APPARENT ORIGINAL MONUMENT
- SET ALUMINUM CAPPED 1/2" REBAR STAMPED PLS 25971
- FOUND ALUMINUM CAPPED REBAR, ILLEGIBLE, POSITIONED AS PER MONUMENT RECORDS

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	11.48	17.00	N63°02'43"E	11.27
C2	45.28	67.00	N63°02'43"E	44.40
C3	24.99	37.00	N63°02'43"E	24.52
C4	31.75	47.00	N63°02'43"E	31.15
C5	38.50	57.00	N63°02'43"E	37.77
C6	18.24	27.00	N63°02'43"E	17.89

LINE TABLE

LINE	LENGTH	BEARING
L1	14.03	S87°58'34"W
L2	20.03	S87°58'34"W
L3	20.14	S87°58'34"W
L4	87.00	S87°58'34"W
L5	83.81	S82°23'44"W
L6	53.38	S43°41'41"W
L7	127.70	S82°23'44"W
L8	40.00	S08°01'25"E
L9	39.41	S08°01'00"E
L10	115.01	N62°23'44"E
L11	53.38	N43°41'41"E
L12	83.81	N62°20'28"E
L13	15.01	S12°04'29"W

GRAPHIC SCALE - FEET
BASIS OF BEARINGS: Assumed
S77°55'00"E, along the south boundary
of Lot 2, monumented as shown.

Town of Green Mountain Falls

P.O. Box 524
10615 Unit B – Green Mountain Falls Rd
Green Mountain Falls, CO 80819
719-684-9414

REQUEST FOR PLANNING COMMISSION REVIEW

Must be received by Town Clerk at least 5 days prior to PC Meeting date.

Requesting Landowner's Name BRADLEY WARE

Project Type (such as- new home, addition, deck, garage, shed, fence, etc.)

REPLACE UNSAFE DECK

Project Location (GMF Street Address) 6825 HOWARD STREET

E-MAIL WAREAREWENOW@aol.com

Phone (913) 927-5749 Cell (913) 432-0582

Owner's USPS Mailing Address WAREAREWENOW@aol.com

Submit with this Request:

6009 OUTLOOK
SHAWNEE MISSION, KS. 66202

- OR -
4723 REEDER
OVERLAND PARK, KS
66214

Site Plan- Scale Drawing (Showing property lines and setback distances for all new structures).

~~Application form for Fence Permit (if applicable).~~ * N/A

~~Application form for Grading and Erosion Control Plan~~ * N/A
(for excavations over 50 CY or 300 SF).

Payment for GMF Plan Review Fee (\$125).

Payment for Contractor's GMF Business License Fee (\$50/yr) for each contractor.

~~Payment for Fence Permit (\$50)~~ N/A

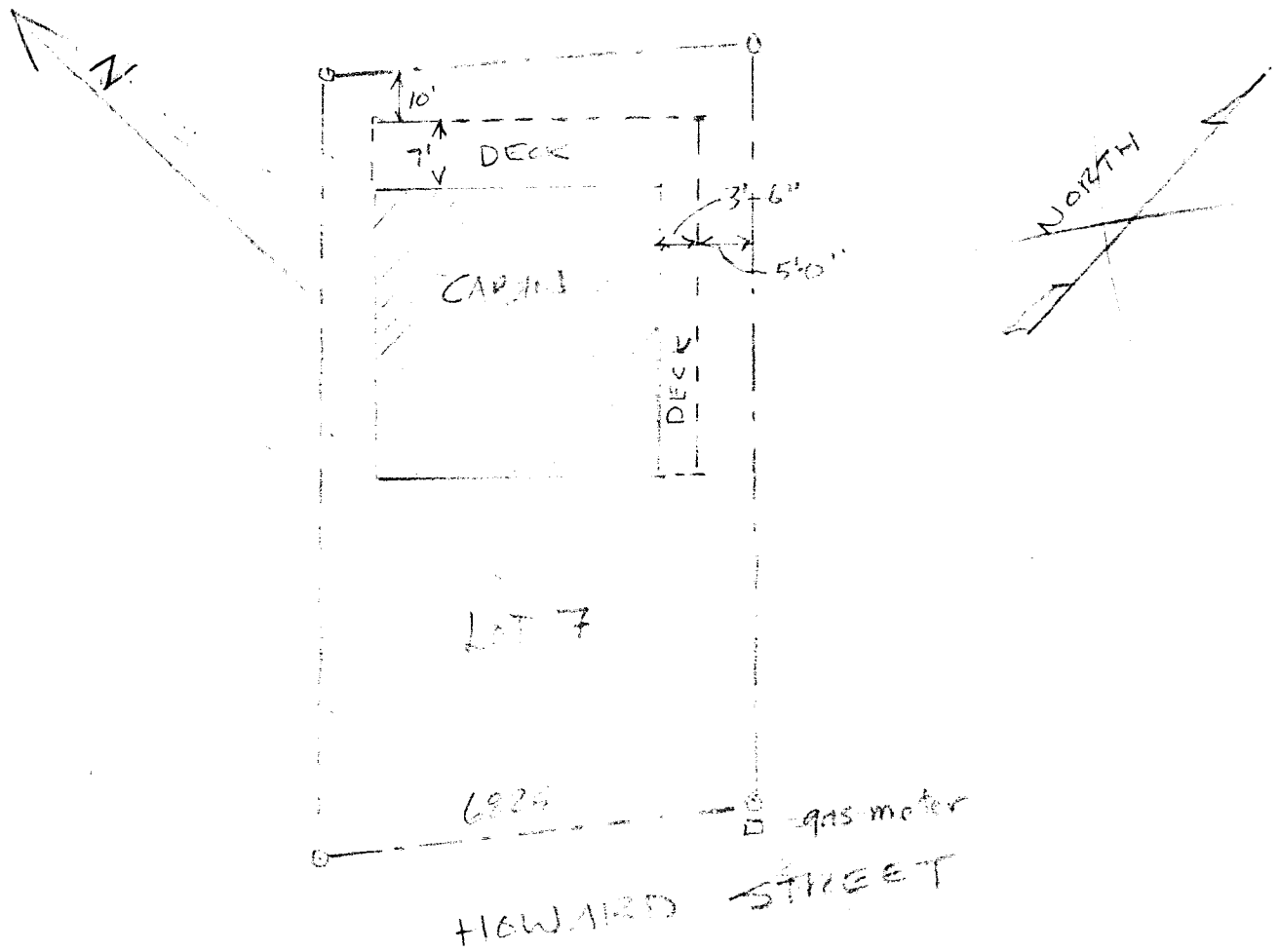
~~Payment for Grading Plan Review Fee (\$125+ any engineering services needed).~~ N/A

~~Payment for Revocable Permit Fee (\$25/yr) if applicable.~~ N/A

~~Payment for Contractor's GMF Business License Fee (\$50/yr) for each contractor.~~

~~* Forms available from Town Clerk or Town web site www.coloradogov/greenmountainfalls~~ N/A

Bradley M. Ware
pd \$125.00 3/1/19 [Signature]



6825 HOWARD ST.
 PARADIGM WARE
 DECK PROJECT
 SITE PLAN
 SCALE 1" = 20'-0"

14 FEB 2014



GMF Town Clerk <gmftownclerk@gmail.com>

REQUEST TO REZONE TOWN HALL PARCEL

1 message

Dick Bratton <trails007@aol.com>

Wed, Mar 13, 2019 at 4:06 PM

To: time4playnow@hotmail.com, gmfnwberry@gmail.com, margaretp0409@gmail.com, gmfcquinn@gmail.com, GMF@tymosaco.net, rocblasi@gmail.com, trails007@aol.com, suntourusa@gmail.com, nathanscott76@gmail.com, gwill.1955@gmail.com
Cc: GMFhodes@gmail.com, GMFTownClerk@gmail.com, gmftownmanager@gmail.com

MEMO TO: GMF Town Board of Trustees

SUBJECT: **ZONING DISTRICT AMENDMENT-- GMF TOWN HALL PARCEL**

FROM: Dick Bratton, Vice Chairman, GMF Planning Commission

At the GMF Planning Commission Meeting on Mar 12, 2019, after a Public Meeting, the following motion passed unanimously (5-0):

"The Planning Commission recommends that the Town Board of Trustees approve the rezoning of the Town Hall Parcel (Schedule 8308101100) from B-Business District to PF- Public Facilities District."

The following Information is submitted in accordance with

GMF Municipal Code Sec.16-711 Zoning:

LETTER OF INTENT Sec. 16-711(c)(1)

a. The reason for the change in Zone Classification:

The primary reason for changing the Zone Classification from B-Business to P-F Public Facilities District is to reflect the actual and planned use of the parcel. The current zoning is incorrect and should be corrected..

Additionally, TB approval of this change is needed to revise the Official

Zoning Map currently being updated as a part of the GMF Comprehensive Plan.

- b. Total number of acres: 1.56 A
 - c. The entire parcel is owned by the Town of Green Mountain Falls.
 - d. There are no residential dwelling units on the parcel.
- (2) Legal description and drawing (subdivision map attached - Lot 1).
- a. Boundary description of the land to be rezoned. (map attached)
 - b. Existing land uses on the property: PF -Public Facilities (Town Hall).
 - c. Adjoining property ownership and use: (map showing adjoining property owners-attached)
 - d. Existing and proposed structures: Existing structures- GMF Town Hall.
A Town Hall is a permitted use in a PF Public Facilities District (Sec 16-313 (c)).
No additional structures are proposed.
 - e. Existing and proposed easements: No additional easements are planned.
 - f. Name and Address of
 - 1. Petitioner: GMF Planning Commission.
 - 2. Owner: Town of Green Mountain Falls
 - 3. Preparer: Dick Bratton, Vice Chairman, GMF Planning Commission,
GMF Town Hall, [10615 Green Mountain Falls Road,](#)
[Green Mountain Falls, CO 80819-0524](#)

DRAFT- As of 30 Jan 2017

GMF PLANNING COMMISSION (PC)

FREQUENTLY ASKED QUESTION

QUESTIONS for GMF PC

Reference GMF Municipal Code at www.colorado.gov/greenmountainfalls

Where do I get a Building Permit ? They are issued by the Pikes Peak Regional Building Department (RBD). GMF Does not issue Building Permits

What is the procedure for getting my project approved by the Planning Commission ?

Submit a "Request for PC Review" form to the Town Clerk. The form is available on the Town web site under "Forms".

What is a SITE PLAN ? A scale drawing showing Property Lines and the location of all existing and proposed structures on the lot.

What is SETBACK ? A prescribed minimum distance from the nearest property line to any new structures. inimum distances are prescribed in the Municipal Code Sec 16-301

What Fees apply ? Town Plan Review Fee (\$125) and Town Business License Feesforall contractors (\$50/yr for each contractor). Other fees may apply to some projects.

QUESTIONS FOR REGIONAL BUILDING DEPARTMENT (RBD)

Visit RBD Web Site for answers at www.pprbd.org.

Do I need a BUILDING PERMIT for my project ? See list on RBD web site.

What work does NOT require a Building Permit ? See list on RBD web site.

How do I get an RBD Building Permit ? Visit RBD web site for instructions.

Where can I get design and construction standards for a deck ? RBD web site.

Does My contractor need a license from RBD ? See RBD web site.

Does my Roofer need an RBD Contractor's license ? Yes- See RBD web site.

How do I get an RBD Building Permit ? Visit RBD web site for instructions. www

GMF does not issue Building Permits. RBD does.