



**Town of Green Mountain Falls  
Planning Commission Regular Meeting  
Agenda**

**Tuesday, December 14, 2021 @ 6:30 PM  
In-person Meeting @ 10615 Green Mountain Falls Rd  
Green Mountain Falls, CO 80819**

OR JOIN ZOOM MEETING:

<https://us02web.zoom.us/j/84766033758?pwd=ZHNvYlYzNG9WamlKMkUzakNjQ0NlZz09>

Meeting ID: 847 6603 3758; Passcode: 718198

TIME	ITEM	DESIRED OUTCOME
6:30	1. CALL TO ORDER	
	2. AUDIO CHECK	
	3. ADDITIONS, DELETIONS, OR CORRECTION TO THE AGENDA	
	4. APPROVAL OF MINUTES November 9, 2021, Regular Meeting Minutes	Action Recommended
	5. PUBLIC COMMENT**	
	6. NEW BUSINESS	
	a. DEC2021-01 – 10690 Florence Ave. – Garage Roof and Garage Deck Replace	Action Recommended
	7. OLD BUSINESS	
	a. Discussion – Code Rewrite – Draft Installment #1 and next steps	No Action Necessary
	8. OTHER BUSINESS	
	9. Adjournment	

\*\*Register for public comment by 4:00 PM the day of the meeting: [planner@gmfco.us](mailto:planner@gmfco.us)

*Planning Commission Members:  
Todd Dixon, Chair  
Lamar Matthews, Commissioner  
Sean Ives, Commissioner  
Gregory Williamson, Vice Chair  
Paul Yingling, Commissioner*



**MEETING MINUTES**  
**Planning Commission**  
**November 9, 2021**  
**6:30 p.m. Zoom and In Person Meeting**

Commissioners Present: Todd Dixon, Sean Ives, Lamar Matthews, Gregory Williamson, Paul Yingling

Commissioners Absent:

Ex Oficio Member: Mayor Jane Newberry

Board of Trustees Liaison:

GMF Staff: Nate Scott

Agenda Item	Motion/Discussion	M/S	TD	SI	LM	GW	PY	JN
1. CALL TO ORDER / ROLL CALL / AUDIO CHECK	Call to order at 6:31pm.							
2. ADDITIONS, DELETIONS, & CORRECTIONS TO THE AGENDA	GW moved to approve. LM seconded. All ayes - Motion passed.	GW/LM	A	A	A	A	A	
3. APPROVAL OF MINUTES- October 12, 2021	PY moved to approve. LM seconded. All ayes - Motion passed.	PY/LM	A	A	A	A	A	
4. PUBLIC COMMENT	No public comment.							
5. NEW BUSINESS a. NOV2021-01 – 10735 Denver Ave. – Deck Application	Staff report: Scott - This is for a deck replacement. Completely new footprint. Material list is in packet. Fees have been paid. No ILC. Using aerial views show no setback issues. Plan has been submitted to PPRegional. GW - Looks straight forward, no problems. LM - happy with materials being used.  GW moved to accept the plan as submitted for approval. LM seconded. All ayes - Motion passed.	GW/LM	A	A	A	A	A	

<p>6. OLD BUSINESS</p> <p>a. OCT2021-01 – 10650 Hondo – Town parcel purchase – Final Plat Approval</p>	<p>Staff report: Scott - Second to last step to get town parcel sold. Town Manager said that the final plat needs to be approved. Will be used to combine the 2 parcels. Town attorney has drawn up legal paperwork. If PC approves, the new plat will be included in the attorney packet and passed to the BoT for approval. No commission comments. Applicant - would like to move on and get it done. Appreciated the work done by Scott.</p> <p>LM moved to approve the new plat for the Bair land purchase. PY seconded. All ayes - Motion passed.</p>	LM/PY	A	A	A	A	A	
<p>7. OTHER BUSINESS</p>	<p>TD updated the commission regarding the presentation on the land use code. The lawyer had a death in the family so there will be a delay for about a month. This will slide the schedule accordingly.</p> <p>LM - Majority of PC members attended by Zoom. Encouraged the PC members to contact the Board to keep Zoom a meeting option.</p>							
<p>9. ADJOURNMENT</p>	<p>Adjourned 6:46pm</p>							



To: Planning Commission

From: GMF Staff

Date: December 7, 2021

Re: DEC2021-01 Architectural and Zoning Application for the replacement of the garage roof and deck at 10680 Florence Ave

### **Background**

The applicant Robert Seever is requesting the Planning Commission's consideration for a permit to replace the roof and deck of the detached garage at 10680 Florence Ave. The application was received and paid for on December 6, 2021. The construction plan will be submitted to Pikes Peak Regional Building Dept. for their process and the applicant has been notified that their contractor(s) must apply for a Town business license prior to any work being done.

Planning Commission Recommended Actions:

- Review proposed project for compliance with Green Mountain Falls Zoning and Land Use Code.
- Approve, approve subject to conditions, or disapprove.

### **Project Summary**

Please reference the attached "Letter of Explanation" for the project details.

### **Discussion**

The electronic file maintained by Town Hall, *Official Town Zoning Map 2019*, shows the Zone District as R-1 and the El Paso County Assessor's Office show parcel ID 8308103002 with an area of 11,726 sq. feet. Therefore, zoning is:

#### **16-306: R-1 10,000 Single-Family Residential District, within designated Hillside Overlay Zone.**

*Setback requirements:*

- a. Front, fifteen (15) feet;*
- b. Side, ten (10) feet; and*
- c. Rear, ten (10) feet.*

#### **Sec. 16-312: HO Hillside Overlay Zone; Sec. 16-714. - Hillside Overlay Zone requirements**

Due to the nature of this project (no footprint or grading changes), staff has no concerns about this project occurring within the Hillside Overlay Zone.

#### **Sec. 16-705. - Building permits; architectural review**

The Zoning Code §16-705(d)(2) – at a minimum, the following specific criteria shall be considered by the Planning Commission:

- a. *Architectural compatibility;*
- b. *Bulk of the proposed building or structure in relation to surrounding buildings and land;*
- c. *Vehicular access and parking;*
- d. *Pedestrian access; and*
- e. *Relation to existing and future open space.*

The language for architectural review is couched as policy recommendation with vague standards: nevertheless, it does state the advisory body *shall restrict its consideration in each case to the effect of the proposed construction on the health, safety, morals, and general welfare of the Town.*

**Sec. 16-712. - Development plan requirements (w/ notes specific to this project).**

- (1) The location, height, and dimensions of each existing and proposed structure in the development area and the uses to be contained therein. **(Included in site plan, max height of 20' 9 3/4".)**
- (2) The proper building setbacks and building area with reference to property lines, highways, or street rights-of-way; **(The east side setback of the garage is below 10'. However, neither the footprint nor use of the garage are being changed by this project, therefore the unchanging setbacks should not prevent this project from being approved. This is according to [Chapter 16-708](#), “Nonconforming development”, which states: “It is the intent of this Section to allow the continuance of such nonconformance but not to encourage its enlargement nor to allow continuance should the use be discontinued for a period of one (1) year or should the use be destroyed by fire or any other cause.”)**
- (3) The location and surfaces of all parking areas and the exact number of parking spaces; **no footprint change**
- (4) The location of watercourses and other natural historic features; **no footprint change**
- (5) The location of all pedestrian walks, malls, recreation, and other open spaces; **N/A**
- (6) The location, number, height, and square footage of freestanding identification signs; **N/A**
- (7) The location, height, size, and orientation of any required light standards; **N/A**
- (8) The location of all permanent accesses from publicly dedicated streets, roads, or highways; **no footprint change**
- (9) The location, overlain on contours for the area, of all roadways, walkways, bridges, culverts, drainage easements, existing or contemplated, and green belts; **no footprint change**
- (10) The location of all footpaths, traffic islands, traffic devices and driveways, indicating the pedestrian and vehicular movement and control; **no footprint change**
- (11) The stages, if appropriate, in which the project will be developed; **(See attached, detailed demolition and building plans.)** and
- (12) A vicinity map to locate the development in relation to the community. **(See attached plans.)**  
(Ord. 97-01)

**Conclusion and Recommendation**

Staff recommends approval of this project contingent on contractor obtaining a Town of Green Mountain Falls Business License.



**Town of Green Mountain Falls  
Land Use Approval Application  
Architectural Plan Review**

**General Information**

- This checklist serves as a guideline for submitting a Zoning & Architectural Plan Review Land Use Approval application and is not a substitute for the provisions in GMF Municipal Code or any other rules that may apply.
- Applicants are responsible for reviewing and understanding the Code.
- Complete applications are subject to staff review time of two weeks (14 days).

**Applicant**

Applicant:	ROBERT E. SEEVER
Address:	10680 FLORENCE AVENUE , P.O. BOX 253, GMF 80819
E-Mail:	ROBEY@KEYSTONEASSOCIATES.CO.COM
Phone:	(719) 722-2300
Owner:	SAME AS ABOVE
Address:	
E-mail:	
Phone:	

**Property**

Physical Property Address: 10680 FLORENCE AVENUE	
Type of Plan Review: APR	Lot Size/Zoning: R-1 5,000 SINGLE-FAMILY RES.
Hillside Overlay zone? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Land Survey/ILC Included: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

**Certification & Signature**

APPLICANT'S STATEMENT: I understand the procedures and requirements (pages 1 and 2 of this application) that apply to my request and acknowledge an incomplete application will not be scheduled for public hearing. GMF Staff's acceptance of the application, payment of fees, and submittal of accompanying materials does not constitute completeness. I further agree to reimburse the city for technical and professional consulting expenses that may be incurred during the review of my request. Failure to reimburse the Town for invoiced expenses constitutes an incomplete application.

Certification: The undersigned applicant certifies under oath and under penalties of perjury that the information found in the application is true and accurate to the best of their knowledge.

By checking this box, I agree to the certification statement and am typing my full name as an electronic signature.

Applicant Signature Robert E. Seever Date 12/06/21

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

This document can be signed electronically using [Adobe Reader DC for free](#).

## Plan Review Checklist

This checklist serves as a guideline for submitting a Zoning & Architectural Plan Review (APR) Land Use Approval application and is not a substitute for the provisions in Green Mountain Falls Municipal Code or any other rules that may apply. Applicants are expected to review, at a minimum [§16. Zoning](#), [§17. Subdivision](#), [§18. Building Regulations](#).

APR is a general term for the review by the Planning Commission/Board of Trustees for zoning compliance and the evaluation of architectural compatibility, as outlined in §16-705.

### 1. Application & Petition

- ✓ a. Application, signed and dated by the applicant and property owner(s)
- b. [Application fee](#)
- ✓ c. Letter of explanation
  - i. Describe the purpose of the project (e.g., deck, SFH addition, exterior renovation, etc.) and describe project details, referring to site plans and drawings as necessary

### 2. Development Plan

- ✓ a. Vicinity Map with streets and access points to the property **CS100**
- ✓ b. Existing and proposed structures with zoning setbacks, property boundaries and dimensions **LSP 100**
- c. The location of all drainage to, from and across the site, the location of intermittent and permanent springs, culverts and other drainage structure **N/A**

### 3. Procedure:

- ✓ a. Electronic submittal of signed application and checklist materials: [planner@gmfco.us](mailto:planner@gmfco.us)
- b. Payment of fees to Town Clerk for receipt
- c. Upon determining an application is complete, staff will schedule for PC and/or BoT public hearing

#### GMF Town Staff:

- Application
  - Letter of Explanation
  - Development Plan
  - Application fee (Town Clerk)
- Date 12/6/21 Amount \$250  Check #2755  Credit Card

December 6, 2021

Robert E. Seever  
P.O. Box 253  
10680 Florence Avenue  
Green Mountain Falls, CO 80819-0253

Town of Green Mountain Falls  
Town Planner/ Town Planning Commission  
P.O. Box 524  
10615 Green Mountain Falls Road  
Green Mountain Falls, CO 80819

RE: Architectural Plan Review submittal  
Letter of Explanation

Dear Mr. Scott,

This Letter of Explanation is being provided as part of the requirements of the Town of Green Mountain Falls, Architectural Plan Review Application (dated December 6, 2021). The purpose of the project is to re-roof, replace the existing roof top deck, and to replace the existing high roof of the existing detached two-car garage structure on the reference property. The original structure was constructed in 1964. As the original roof was flat, the project will also bring the roof up to modern building code and manufacture's standards for a low slope roof system. Additionally, the deck will conform to modern code requirements for deck construction and is designed to better facilitate future re-roofing. No work is planned for the existing two-car garage below.

A Land Survey Plat has been completed and attached for reference, and shows compliance with setback requirements for Zone District R-1 5,000 Single Family Residential. The project will replace the above referenced systems to the previous extent delineated on the Plat, as the intent of the project is to follow the existing concept. Due to the aforementioned building code considerations for low-slope roofing and other structural considerations, the proposed high roof will be several feet higher than the previous metal roof. The new height dimension of 20'-9 3/4" is delineated on detail 2/ A200.

As part of the project, the garage and deck will be painted to match the main house. The trim/ railing color is Sherwin Williams "Fireweed" (SW6328)- rust red, the field color is Sherwin Williams "Natural Linen" (SW9109)- beige, the redwood deck transparent stain color is Penofin "Western Red Cedar", and the high standing seam metal roof color is Pac-Clad "grey." Note the existing salmon color split face masonry block on portions of the south and east elevation below will remain unchanged.

Please let me know if there should be any questions.

Sincerely,



Robert E. Seever



# ROOF AND DECK REPLACEMENT AT THE SEEVER RESIDENCE- DETACHED GARAGE

10680 Florence Avenue  
Green Mountain Falls, Colorado 80819

## SCOPE OF WORK

AN APPROXIMATELY 500 SF, RE-ROOFING AND DECK REPLACEMENT FOR AN EXISTING DETACHED RESIDENTIAL TWO-CAR GARAGE. NO MECHANICAL, PLUMBING, OR ELECTRICAL CHANGES WILL OCCUR. NO CHANGES BEYOND THE EXISTING BUILDING FOOTPRINT (TO THE SITE), TO THE TWO-CAR GARAGE BELOW, OR TO PRIMARY STRUCTURE (MASONRY BELOW) ARE PLANNED.

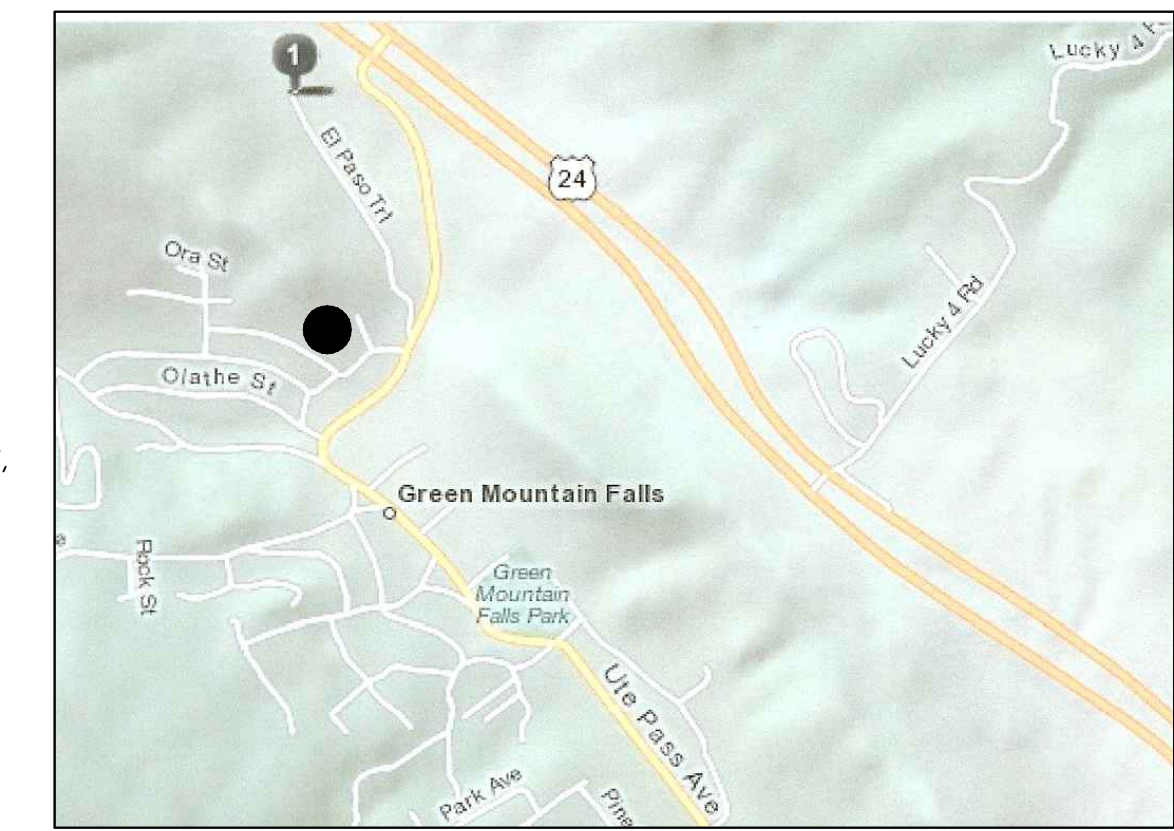
## LEGAL DESCRIPT.

LOTS 15 & 16, BLOCK 31, GREEN MOUNTAIN FALLS, ADDITION 4, EL PASO COUNTY, COLORADO.

## CODE DATA

PROJECT CODE INFORMATION BASED ON THE Pikes Peak REGIONAL BUILDING CODE - 2017, IRC - 2018, AND THE GREEN MOUNTAIN FALLS MUNICIPAL CODE, CHAPTERS 16 & 18- MOST CURRENT.

TOWN ZONING CLASSIFICATION: R-1 5,000 SINGLE-FAMILY RESID.  
EXIST. SITE USE / OCCUPANCY CLASS: SINGLE-FAMILY RESIDENTIAL  
REMODELED USE / OCCUPANCY CLASS: SINGLE-FAMILY RESIDENTIAL  
CONSTRUCTION CLASSIFICATION: TYPE V-B  
EXISTING NON-SPRINKLERED



## VICINITY MAP

## DRAWING INDEX

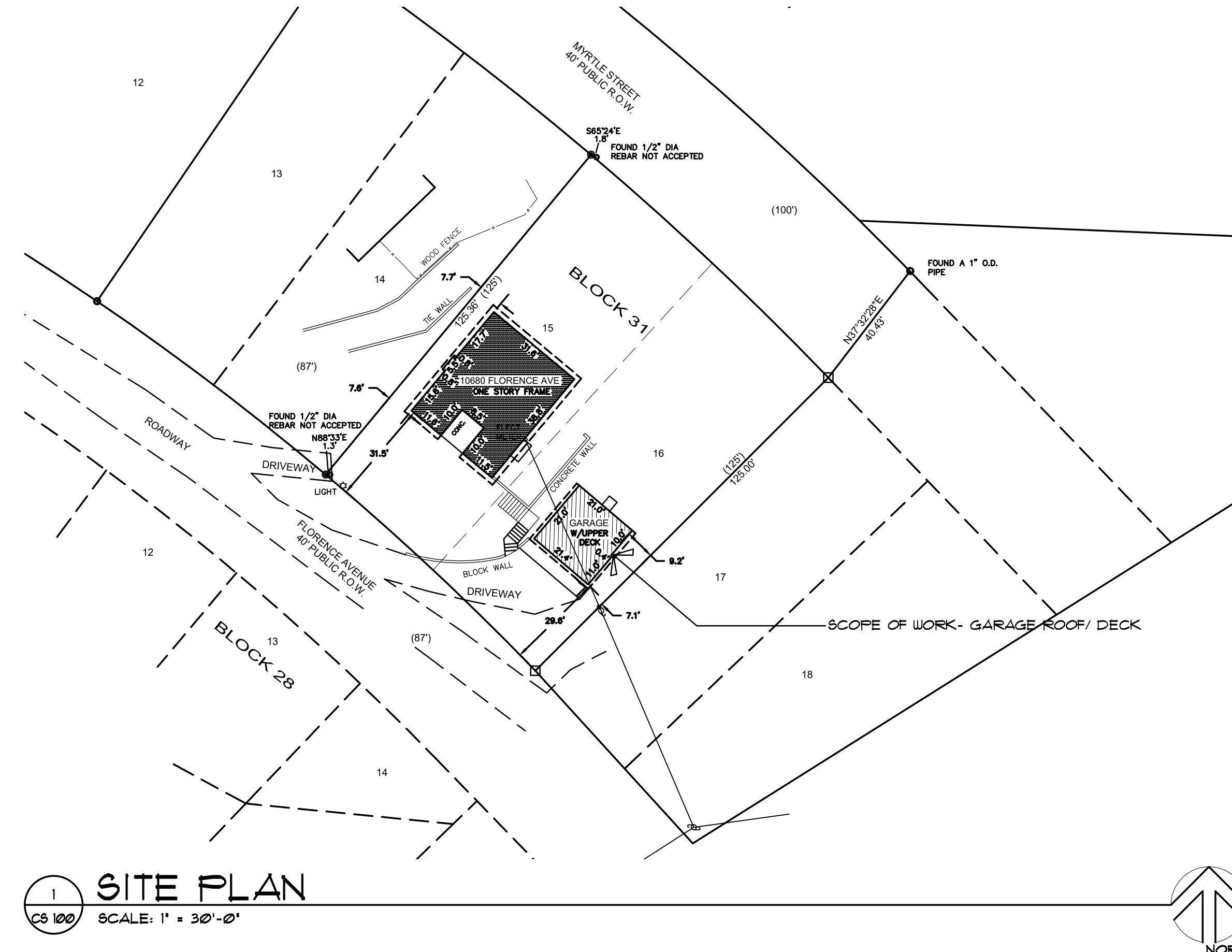
CS 100 COVER SHEET

### SURVEY:

LSP 100 LAND SURVEY PLAT

### ARCHITECTURAL:

A 000 DEMOLITION PLANS  
A 100 ROOF PLAN, FRAMING PLAN, DECKING PLAN, AND RAILING PLAN  
A 200 BLDG. ELEVATIONS, SECTION, AND DETAILS  
A 300 HIGH ROOF FRAMING PLAN AND DETAILS



### SITE PLAN LEGEND:

NEW GARAGE ROOF & DECK AREA- 494 SF.  
 MAIN HOUSE- NOT IN PROJECT SCOPE

### ZONING SYNOPSIS:

ZONING: R-1 5,000 SINGLE FAMILY RESIDENTIAL DISTRICT (SEC. 16-305)  
FRONTAGE: 81 FEET, 5.0 FEET MINIMUM, PER SECTION 16-305, (d), (2)  
SETBACK: FRONT- 29.6 FEET, 15 FEET MINIMUM, PER SEC. 16-305, (d), (4), a.  
SETBACK: SIDE- 7.1 FEET, 5 FEET MINIMUM, PER SEC. 16-305, (d), (4), b.  
SETBACK: REAR- N/A, GREATER THAN 10 FEET MIN, PER SEC. 16-305, (d), (4), c.  
HEIGHT: 20'-9 3/4" 35 FEET MAXIMUM, PER SECTION 16-305, (d), (5).

## PROJECT TEAM

### OWNER:

ROBERT E. SEEVER  
P.O. BOX 253  
10680 FLORENCE AVENUE  
GREEN MOUNTAIN FALLS, COLORADO 80819  
CONTACT: ROBERT E. SEEVER  
PHONE: (719) 684-2035  
FAX:  
EMAIL: ROB.SEEVER@COMCAST.NET

### ARCHITECT:

KEYSTONE ASSOCIATES, INC.  
3710 SINTON ROAD, SUITE 200  
COLORADO SPRINGS, COLORADO 80901  
CONTACT: ROBERT E. SEEVER, NCARB  
PHONE: (719) 722-2300  
FAX: (719) 354-4841  
EMAIL: ROB@KEYSTONEASSOCIATES.CO.COM

### SURVEYOR:

LWA LAND SURVEYING, INC.  
2906 BEACON STREET, SUITE B  
COLORADO SPRINGS, COLORADO 80901  
CONTACT: KEVIN O'LEARY  
PHONE: (719) 636-5119  
FAX: (719) 636-5199  
EMAIL: KEVIN@LWAENGINEERING.COM

### STRUCTURAL ENGINEER:

HCD ENGINEERING, INC.  
9 SOUTH WEBER STREET  
COLORADO SPRINGS, COLORADO 80903  
CONTACT: JEFF KOBRIGER, P.E.  
PHONE: (719) 633-1184  
FAX: (719) 471-3113  
EMAIL: JKOBRIKER@HCDENGINEERING.COM

## GENERAL NOTES:

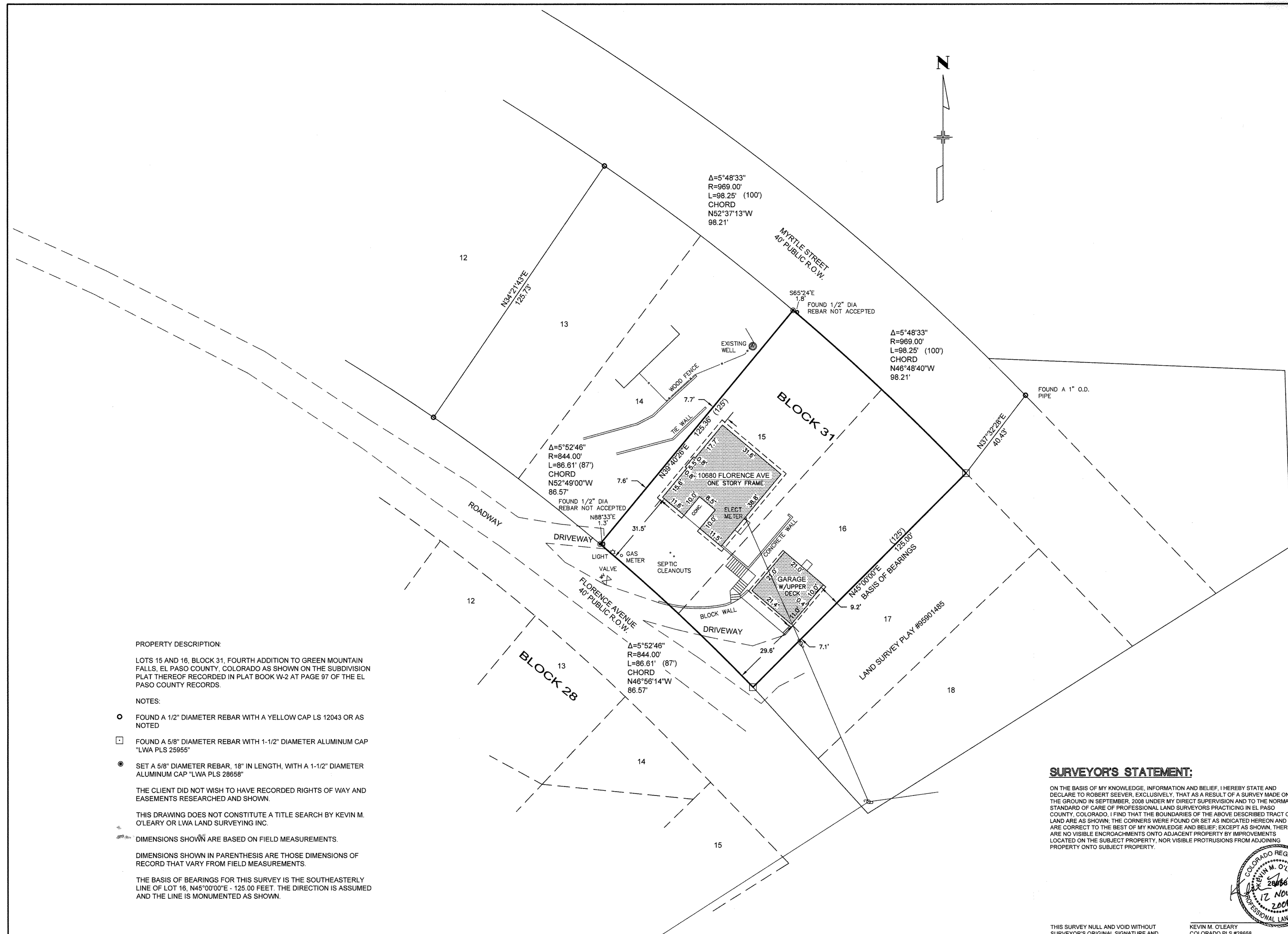
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DEFECTS FOUND IN EXISTING CONSTRUCTION THAT INTERFERE WITH NEW CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, UNEVEN SURFACES AND FINISHES ON FLOORS, WALLS, AND CEILINGS. THE GENERAL CONTRACTOR SHALL PATCH AND REPAIR SURFACES TO MATCH ADJOINING ADJACENT SURFACES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN ACCORDANCE WITH ALL LOCAL REGULATORY AGENCIES, APPLICABLE BUILDING CODES, AMERICAN'S WITH DISABILITIES ACT, AND STANDARD MANUFACTURERS INSTALLATION REQUIREMENTS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN CERTIFICATES OF INSURANCE WITH RESPECT TO WORKMEN'S COMPENSATION, GENERAL LIABILITY, AUTOMOBILE, AND CONSTRUCTION HAZARD FOR THE LIMITS AS REQUIRED BY LAW OR APPROPRIATE TO CONSTRUCTION VALUE OF THE PROJECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.
- IN ADDITION TO SUBMITTAL OF OVERALL CONSTRUCTION COST, THE GENERAL CONTRACTOR SHALL ALSO SUBMIT A SCHEDULE OF VALUES, AND UPON AWARD, A SPECIFIC CONSTRUCTION SCHEDULE (INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND GENERAL CONSTRUCTION WORK) TO THE OWNER AND ARCHITECT.
- THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES IN THE BUILDING AND SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGES CAUSED BY HIM OR HIS SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES DELINEATED ON THE CONSTRUCTION DRAWINGS WHETHER OR NOT CROSS REFERENCED. MECHANICAL, PLUMBING, ELECTRICAL, AND INTERIORS ITEMS MAY OCCUR THAT ARE NOT DELINEATED ON THE ARCHITECTURAL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL HAVE ON SITE THE APPROVED CONSTRUCTION DRAWINGS AND THE BUILDING PERMIT.

- THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL VISIT AND INSPECT THE SITE PRIOR TO SUBMITTING BID AND CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY CODE VIOLATIONS OR INCONSISTENCIES THAT THE GENERAL CONTRACTOR OBSERVES AS EXISTING FIELD CONDITIONS OR IN THE CONTRACT DRAWINGS.
- ALL QUESTIONS OR CHANGE REQUESTS SHALL BE SUBMITTED IN WRITING VIA REQUEST FOR INFORMATION/ CLARIFICATION AND RESPONSES WILL BE THROUGH THE ARCHITECT/ OWNER BY WRITTEN ADDENDA, PROPOSAL REQUEST, OR SUPPLEMENTAL INSTRUCTIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS NEEDED TO COMPLETE THIS PROJECT.
- ALL WASTE AND REFUSE SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE GENERAL CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER. THIS INCLUDES CLEANING ALL GLASS, METAL FRAMES, AND FLOOR FINISHES.
- THE GENERAL CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISH MATERIALS TO THE ARCHITECT/ OWNER FOR APPROVAL PRIOR TO PURCHASE.
- CUT SHEETS OF ALL PRODUCTS, INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS, SHALL BE SUBMITTED BY THE CONTRACTOR AND REVIEWED (CONFIRMATION OF DESIGN INTENT) BY THE ARCHITECT/ ENGINEER/ OWNER PRIOR TO PURCHASE AND INSTALLATION. CONTRACTOR SHALL VERIFY DIMENSIONS AND ACTUAL FIELD CONDITIONS.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF THE AVAILABILITY OF ALL MATERIALS WELL IN ADVANCE OF THE ESTIMATED DELIVERY TIME. NO SUBSTITUTIONS WILL BE ALLOWED FOR MATERIALS DUE TO THEIR UNAVAILABILITY WITHIN TWO WEEKS OF SCHEDULED COMPLETION. ANY PROBLEMS REGARDING AVAILABILITY OF FINISH MATERIALS ARE TO BE BROUGHT TO THE ARCHITECT/ OWNER'S ATTENTION IMMEDIATELY UPON NOTICE TO PROCEED.
- ALL SUBSTITUTIONS AS A RESULT OF NOTE 16 MUST BE APPROVED BY THE ARCHITECT/ OWNER VIA A FORMAL REQUEST FOR SUBSTITUTION. THE GENERAL CONTRACTOR SHALL SUPPLY COMPLETE TECHNICAL DATA AND A STATEMENT OF THE PRICE DIFFERENCES SUCH SUBSTITUTIONS WILL MAKE (ADDITIONS, DEDUCTIONS, OR NO CHARGE) IN THE CONTRACT PRICE AND THE COMPLETION DATE.

- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ADEQUATE BLOCKING/ BRACING WITHIN STUD WALLS AS REQUIRED TO SUPPORT CABINETS, WALL HUNG SHELVING, GRAB BARS, ACCESSORIES, ETC. THAT ARE DELINEATED ON THE DRAWINGS.
- ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THE FIELD CONDITIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY FOR RESOLUTION.
- THE GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL FABRICATED ITEMS FOR THE ARCHITECT'S REVIEW/ APPROVAL PRIOR TO IMPLEMENTING FABRICATION.
- ALL HEIGHTS ARE DIMENSIONED FROM TOP OF EXISTING FLOOR SLAB, UNLESS NOTED OTHERWISE, 'AFF.' (ABOVE FINISHED FLOOR).
- ALL WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF STUD, FACE OF MASONRY, OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE. DIMENSIONS OF INTERIOR CABINETS ARE FINISHED DIMENSIONS.
- ALL DIMENSIONS NOTED AS 'CLEAR' OR 'CLR' ARE FOR EQUIPMENT CLEARANCES AND MUST BE STRICTLY MAINTAINED. THE GENERAL CONTRACTOR SHALL VERIFY ALL CLEARANCE REQUIREMENTS PRIOR TO CONSTRUCTION OF WALLS OR OPENINGS.
- ALL DIMENSIONS NOTED AS 'VERIFY' OR 'FV' ARE TO BE CHECKED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIATIONS ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ALL ANGLES IN PLAN ARE 45 OR 90 DEGREES UNLESS NOTED OTHERWISE.
- ALL CABINETS SHALL COMPLY WITH CUSTOM GRADE ARCHITECTURAL MILLWORK QUALITY STANDARDS AND GUIDE SPECIFICATIONS AS PUBLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE.
- ALL MILLWORK SHALL BE FABRICATED AND INSTALLED BY THE CONTRACTOR UNLESS NOTED AS EXISTING OR BY OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS THAT INTERFACE WITH THE MILLWORK.

208900241

11/25/08



PROPERTY DESCRIPTION:

LOTS 15 AND 16, BLOCK 31, FOURTH ADDITION TO GREEN MOUNTAIN FALLS, EL PASO COUNTY, COLORADO AS SHOWN ON THE SUBDIVISION PLAT THEREOF RECORDED IN PLAT BOOK W-2 AT PAGE 97 OF THE EL PASO COUNTY RECORDS.

NOTES:

- FOUND A 1/2" DIAMETER REBAR WITH A YELLOW CAP LS 12043 OR AS NOTED
- FOUND A 5/8" DIAMETER REBAR WITH 1-1/2" DIAMETER ALUMINUM CAP "LWA PLS 25955"
- SET A 5/8" DIAMETER REBAR, 18" IN LENGTH, WITH A 1-1/2" DIAMETER ALUMINUM CAP "LWA PLS 28658"

THE CLIENT DID NOT WISH TO HAVE RECORDED RIGHTS OF WAY AND EASEMENTS RESEARCHED AND SHOWN.

THIS DRAWING DOES NOT CONSTITUTE A TITLE SEARCH BY KEVIN M. O'LEARY OR LWA LAND SURVEYING INC.

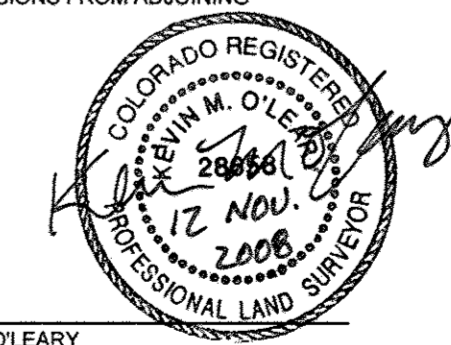
DIMENSIONS SHOWN ARE BASED ON FIELD MEASUREMENTS.

DIMENSIONS SHOWN IN PARENTHESIS ARE THOSE DIMENSIONS OF RECORD THAT VARY FROM FIELD MEASUREMENTS.

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHEASTERLY LINE OF LOT 16,  $N45^{\circ}00'00''E$  - 125.00 FEET. THE DIRECTION IS ASSUMED AND THE LINE IS MONUMENTED AS SHOWN.

SURVEYOR'S STATEMENT:

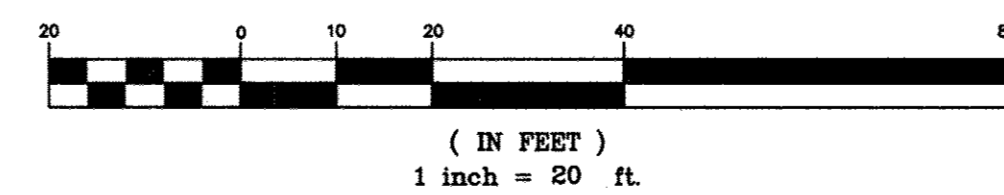
ON THE BASIS OF MY KNOWLEDGE, INFORMATION AND BELIEF, I HEREBY STATE AND DECLARE TO ROBERT SEEVER, EXCLUSIVELY, THAT AS A RESULT OF A SURVEY MADE ON THE GROUND IN SEPTEMBER, 2008 UNDER MY DIRECT SUPERVISION AND TO THE NORMAL STANDARD OF CARE OF PROFESSIONAL LAND SURVEYORS PRACTICING IN EL PASO COUNTY, COLORADO, I FIND THAT THE BOUNDARIES OF THE ABOVE DESCRIBED TRACT OF LAND ARE AS SHOWN; THE CORNERS WERE FOUND OR SET AS INDICATED HEREON AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; EXCEPT AS SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS ONTO ADJACENT PROPERTY BY IMPROVEMENTS LOCATED ON THE SUBJECT PROPERTY, NOR VISIBLE PROTRUSIONS FROM ADJOINING PROPERTY ONTO SUBJECT PROPERTY.



THIS SURVEY NULL AND VOID WITHOUT SURVEYOR'S ORIGINAL SIGNATURE AND SEAL.

KEVIN M. O'LEARY  
COLORADO PLS #28668  
FOR AND ON BEHALF OF  
LWA LANDSURVEYING, INC.

GRAPHIC SCALE



MONUMENTED SURVEY PLAT DEPOSITING CERTIFICATION:  
DEPOSITED THIS 25 DAY OF November, A.D. 2008 AT 10:35 O'CLOCK  
A.M. IN BOOK 157 OF LAND SURVEY PLATS, AT PAGE 13010  
DEPOSIT NUMBER 20081125, OF THE RECORDS OF THE CLERK AND  
RECORDER OF EL PASO COUNTY, COLORADO.

BY Kevin M. O'Leary  
DEPUTY COUNTY CLERK AND RECORDER

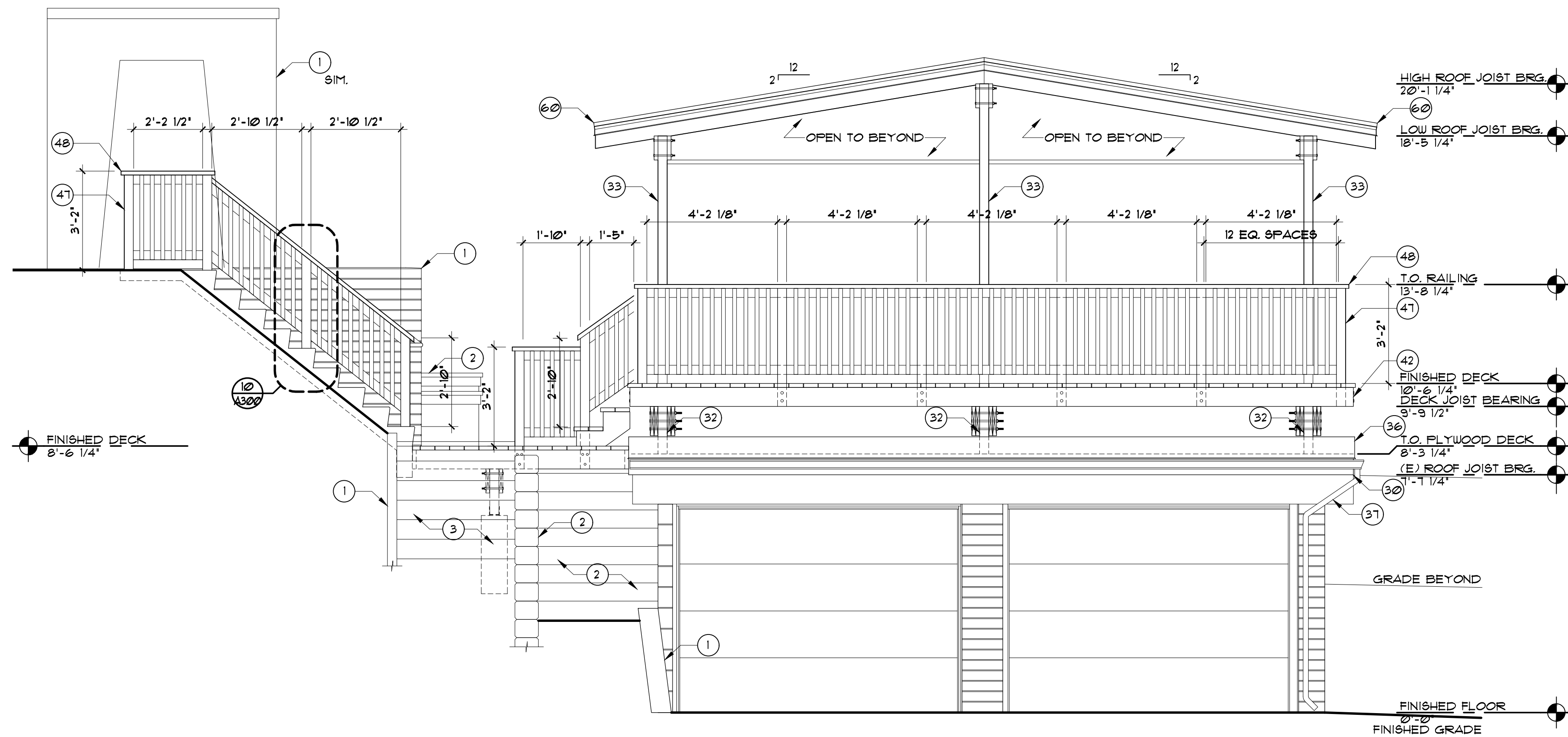
REVISIONS

LWA LAND SURVEYING, INC.  
2906 BEACON STREET, SUITE B  
COLORADO SPRINGS, CO 80907  
TELEPHONE (719) 636-5179 FAX (719) 636-5199

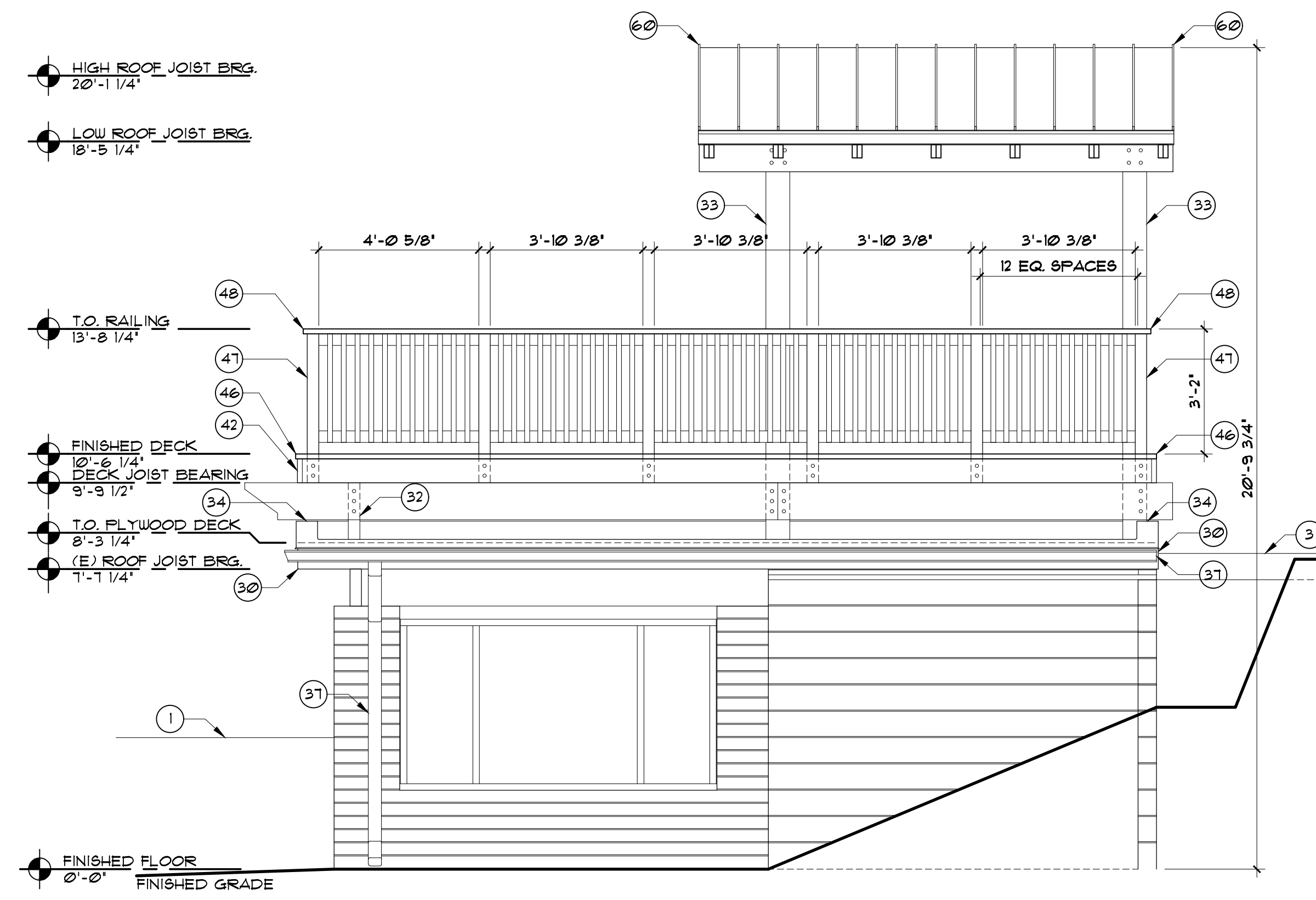
DWG. SEEVER  
SCALE 1"=20'  
DATE 9/25/08  
DRAWN BY: KMO  
CHECKED BY: THK  
PROJECT NO. 08049  
SHEET 1 OF 1

LAND SURVEY PLAT  
SEC. 8, T13S, R68W, 6th PM  
10680 FLORENCE AVE  
4th ADD - GREEN MOUNTAIN FALLS

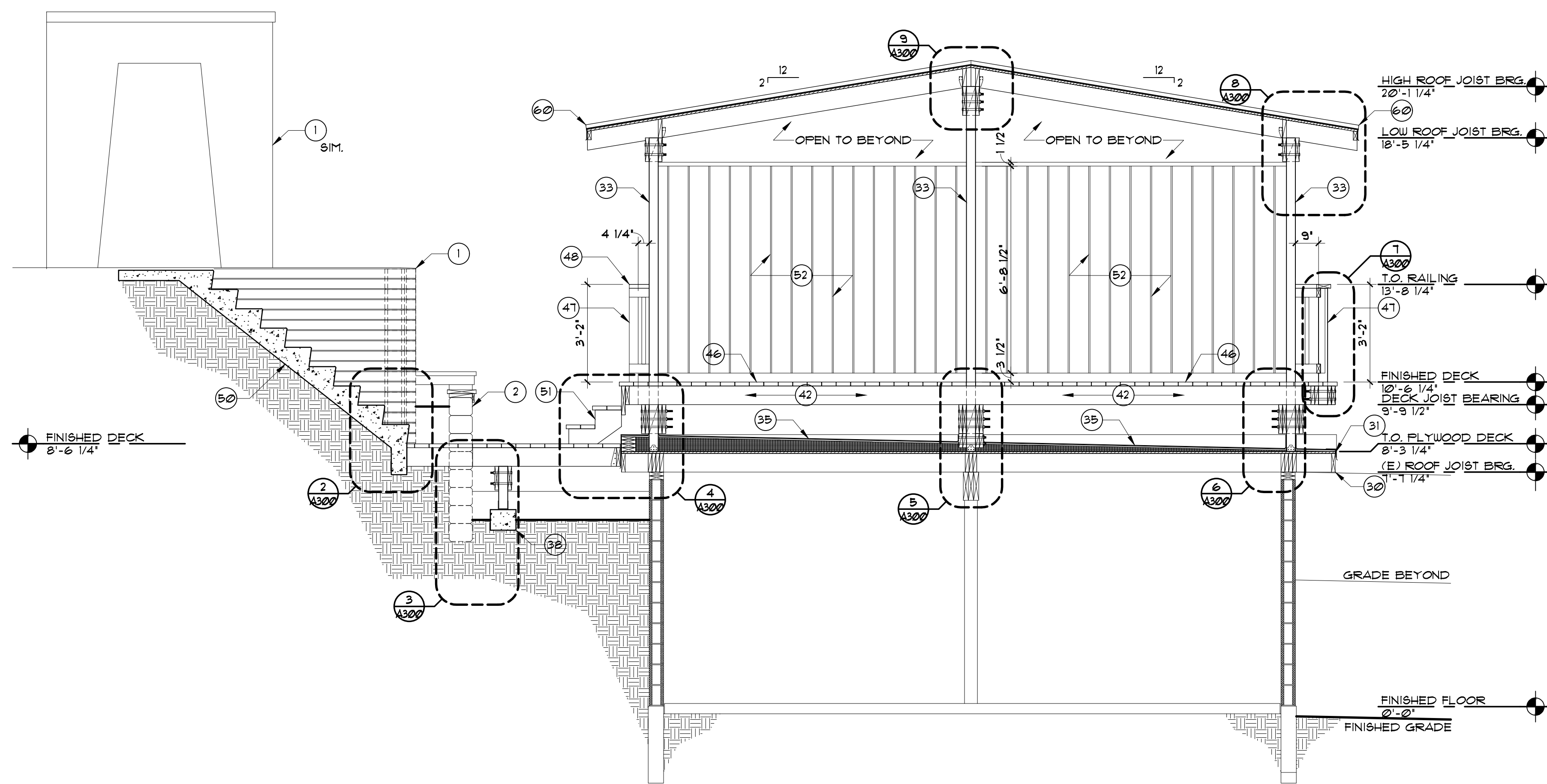
"NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON."



1 SOUTH ELEVATION  
SCALE: 3/8" = 1'-0"



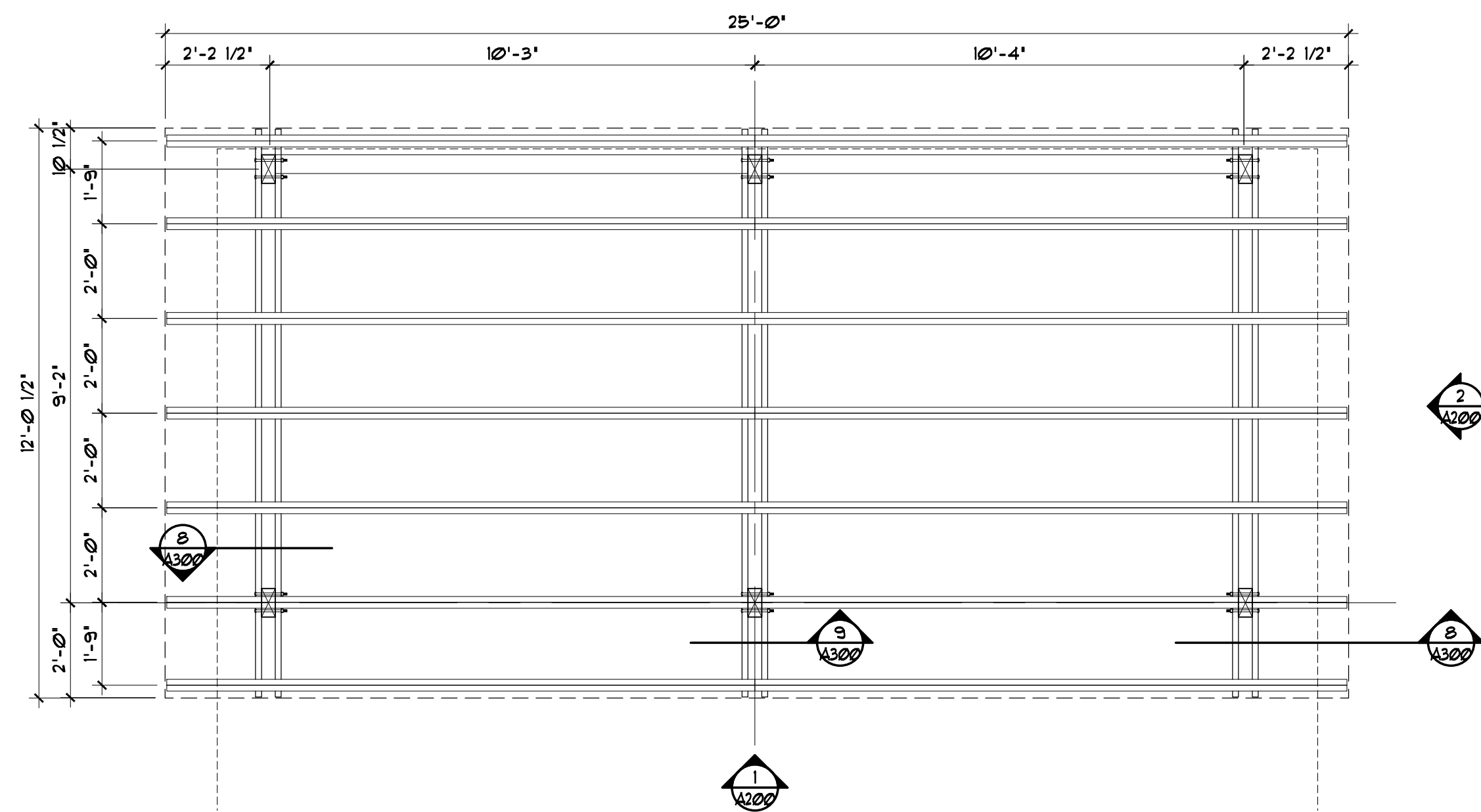
2 EAST ELEVATION  
SCALE: 3/8" = 1'-0"



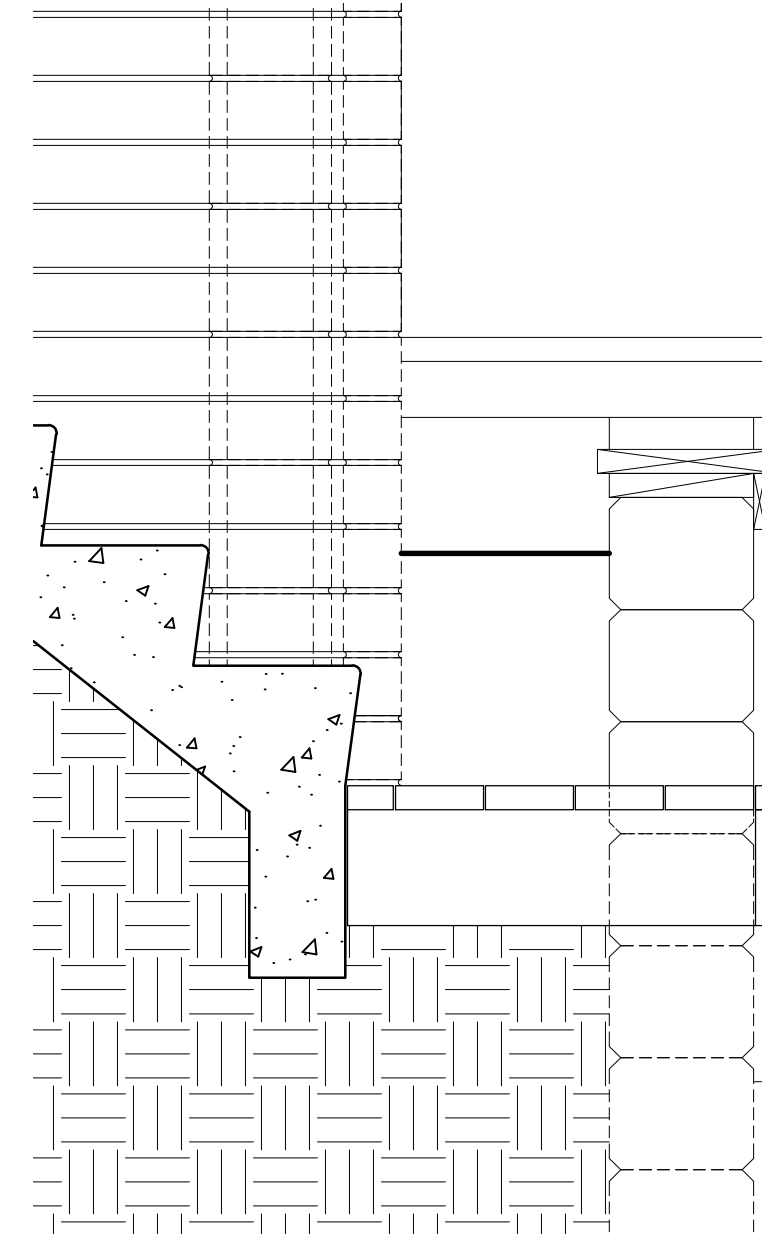
3 BUILDING SECTION  
SCALE: 3/8" = 1'-0"

**KEYNOTES:**

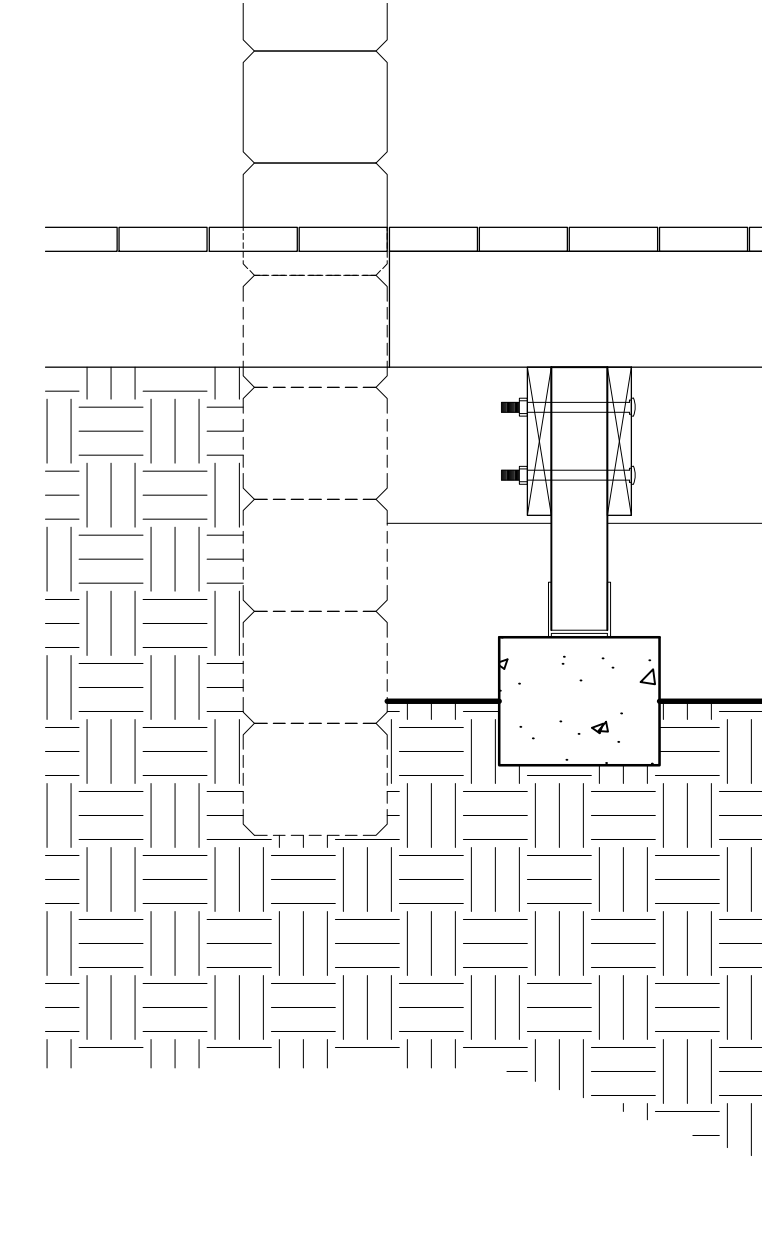
- 1 EXIST. MASONRY RETAINING WALL TO REMAIN. NOT IN SCOPE.
- 2 EXIST. RAILROAD TIE LANDSCAPE WALL AND PLANTER TO REMAIN. NOT IN SCOPE.
- 3 EXIST. CONCRETE STAIRS/ SLAB TO REMAIN. NOT IN SCOPE.
- 60 EXIST. 2x8 RIM JOISTS (ROOF JOISTS). REPLACE AS REQ.
- 61 3/4" T&G PT FLYWOOD DECK TO EXTENT DELINEATED.
- 32 PROVIDE 4x4 FT DECK POST. 2x BLOCKING IN JOIST SPACE BELOW TO MAS. BELOW (TYP. FOR 3). RE: 4, 5, 4 6/ A300.
- 33 PROVIDE 4x8 FT DECK POST. 2x BLOCKING IN JOIST SPACE BELOW TO MAS. OR TIMBER POST BELOW. (TYP. FOR 6). RE: 4, 5, 4 6/ A300.
- 34 2x6 FT CONT. ROOF CURB ON SOUTH, WEST, AND NORTH SIDES OF LOW ROOF DECK. RE: 4/ A300.
- 35 TAPERED RIGID INSULATION (1/4" PER FOOT) WITH 1/4" PRIMED DENSDECK CLASS A COVER BOARD AND 60 MIL SINGLE FLY EPDM FULLY ADHERED MEMBRANE ROOF.
- 36 FULL PERIMETER EAVE MTL. DRIP EDGE- ALONG OUTSIDE OF CURB AND TO GUTTER. COLOR/ STYLE TO MATCH MAIN HOUSE. RE: 4 6/ A300.
- 37 NEW EXTRUDED ALUM. GUTTER AND DOWNSPOUT. COLOR AND STYLE TO MATCH MAIN HOUSE.
- 38 16" DIA. x 8" HIGH PRE-CAST CONCRETE PIER WITH SIMPSON ABU 4x POST BASE AND 4x4 FT DECK POST (TYP OF 3).
- 42 2x8 FT. DECK JOISTS @ 16" O.C. TYP.
- 46 2x6 REDWOOD DECK.
- 47 4x4 FT RAILING POSTS (TO 36 1/2" ABOVE DECK SURFACE).
- 48 2x6 FT RAILING. RE: 7/ A300.
- 60 NEW CONCRETE STAIRS (3 RISERS @ 7 1/2", TREADS @ 10 1/2").
- 51 NEW WOOD STAIRS (3 RISERS @ 7 5/16", TREADS @ 11).
- 52 2x4 @ 16" O.C. TYP. W/ 5/8" TI-II SIDING ON EA. SIDE. PROVIDE 2x6 CAP.
- 60 STANDING BEAM MTL. ROOF. SNAP-CLAD BY PAC-CLAD OR EQUIV. 240 ALUM. 12" O.C. W/ STRIATIONS. COLOR: GREY.



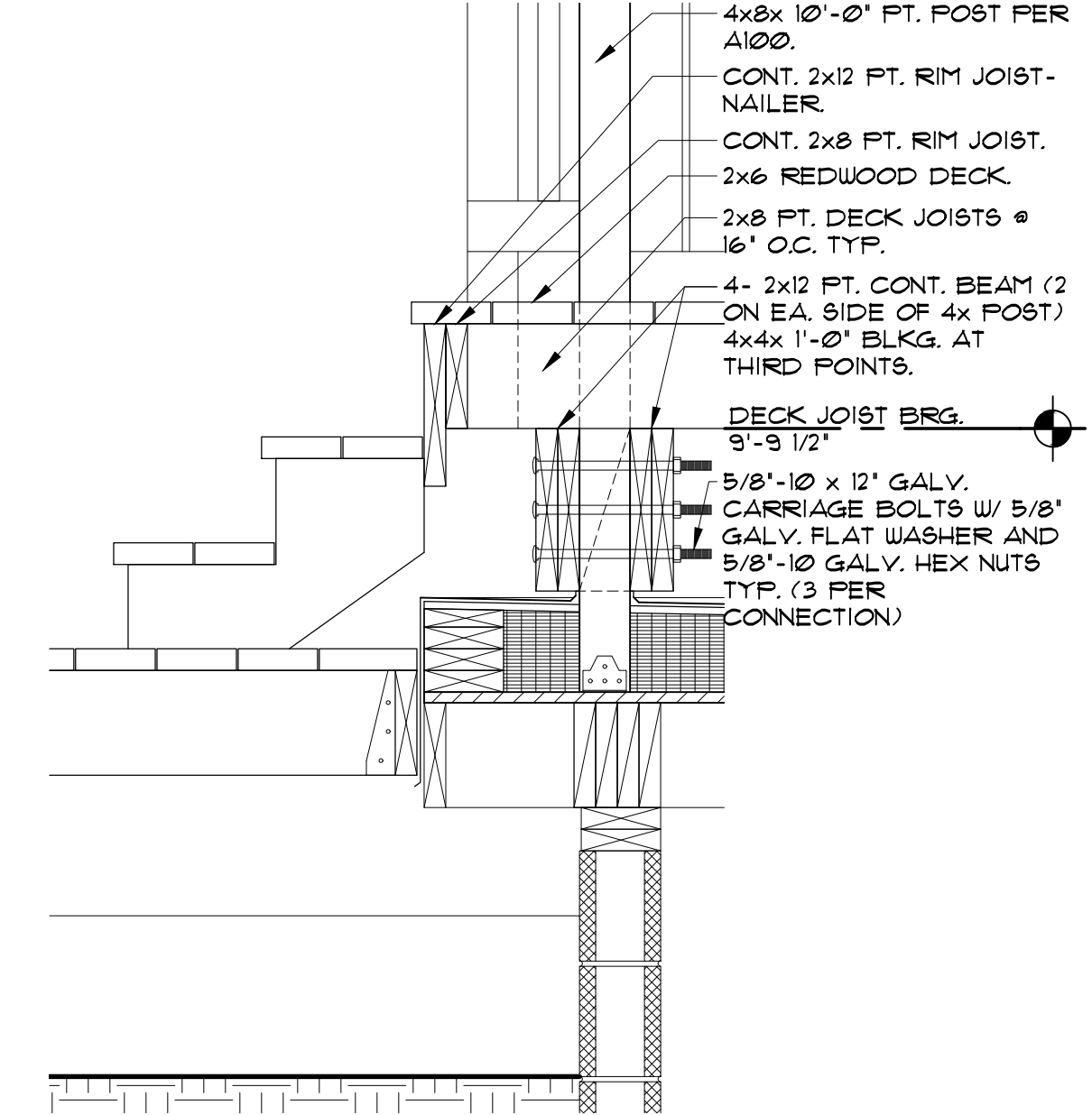
**1 HIGH ROOF FRAMING PLAN**  
SCALE: 3/8" = 1'-0"



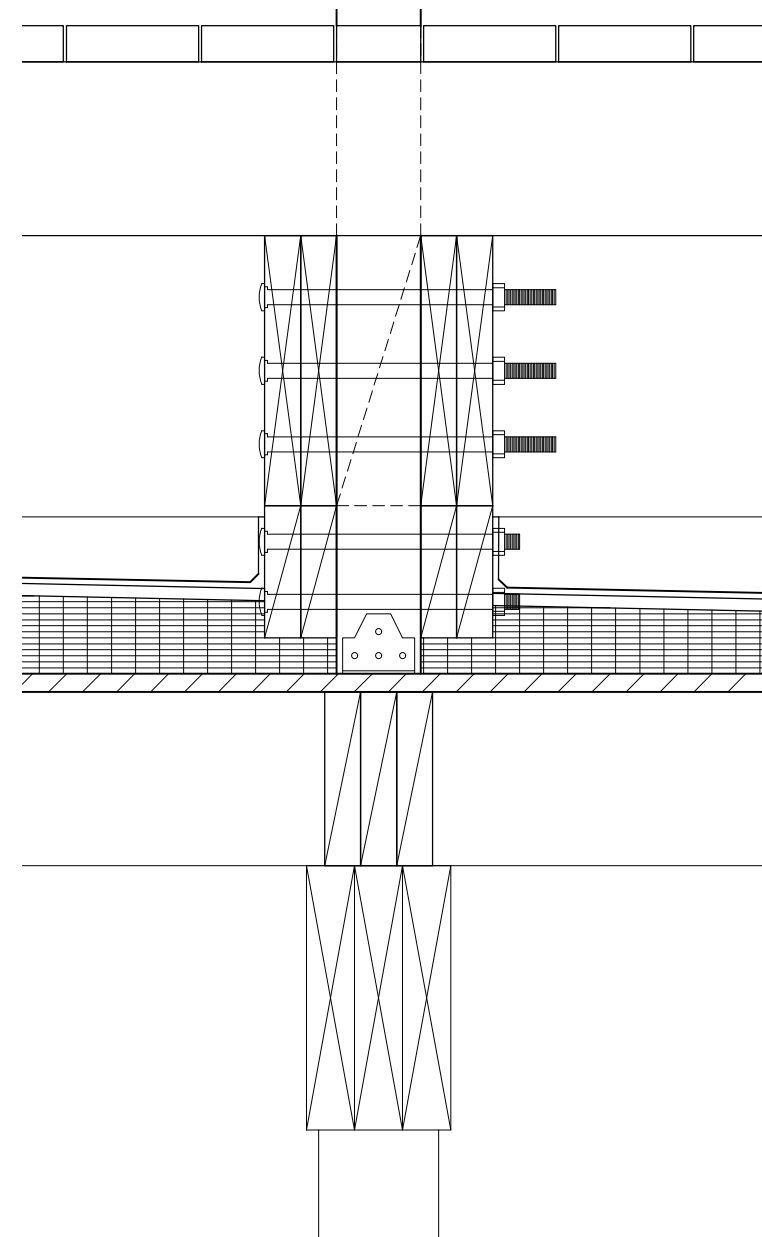
**2 DETAIL**  
SCALE: 1" = 1'-0"



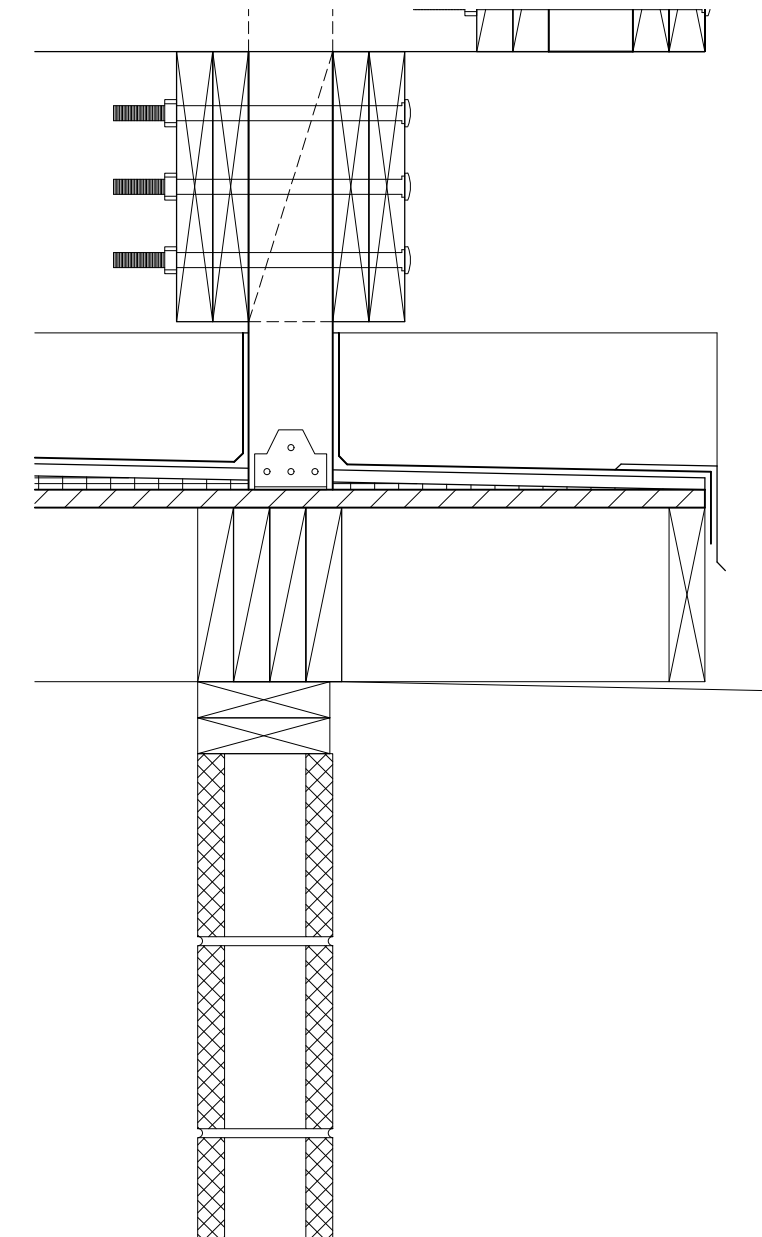
**3 DETAIL**  
SCALE: 1" = 1'-0"



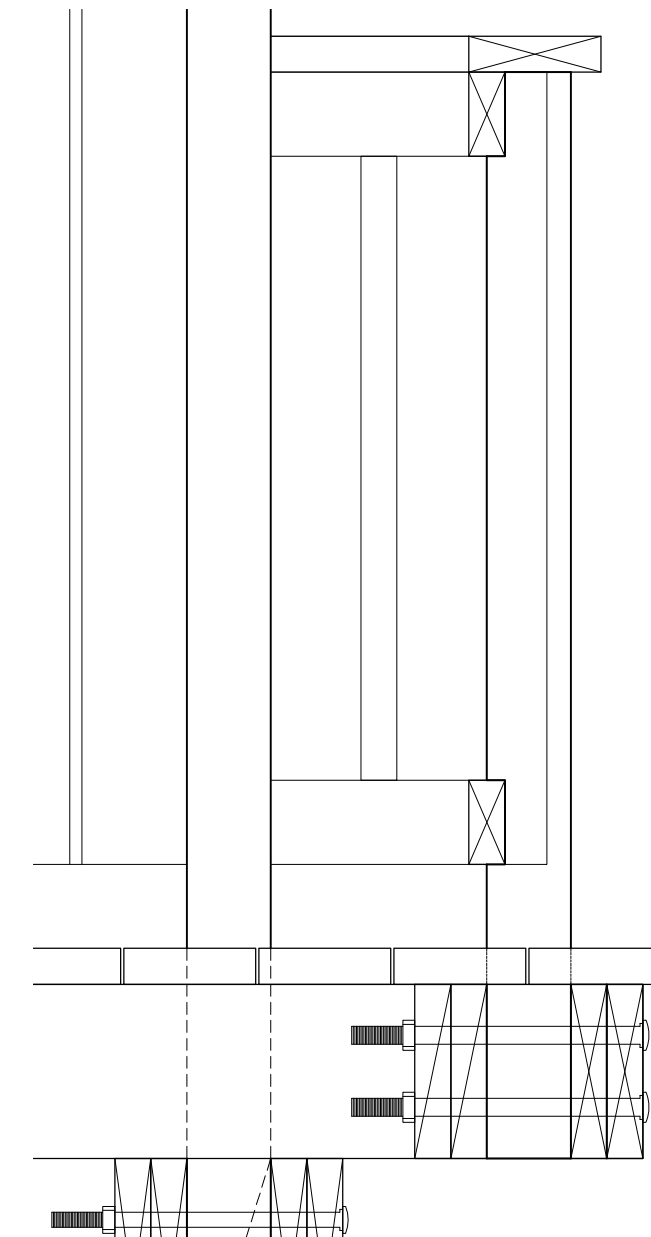
**4 DETAIL**  
SCALE: 1" = 1'-0"



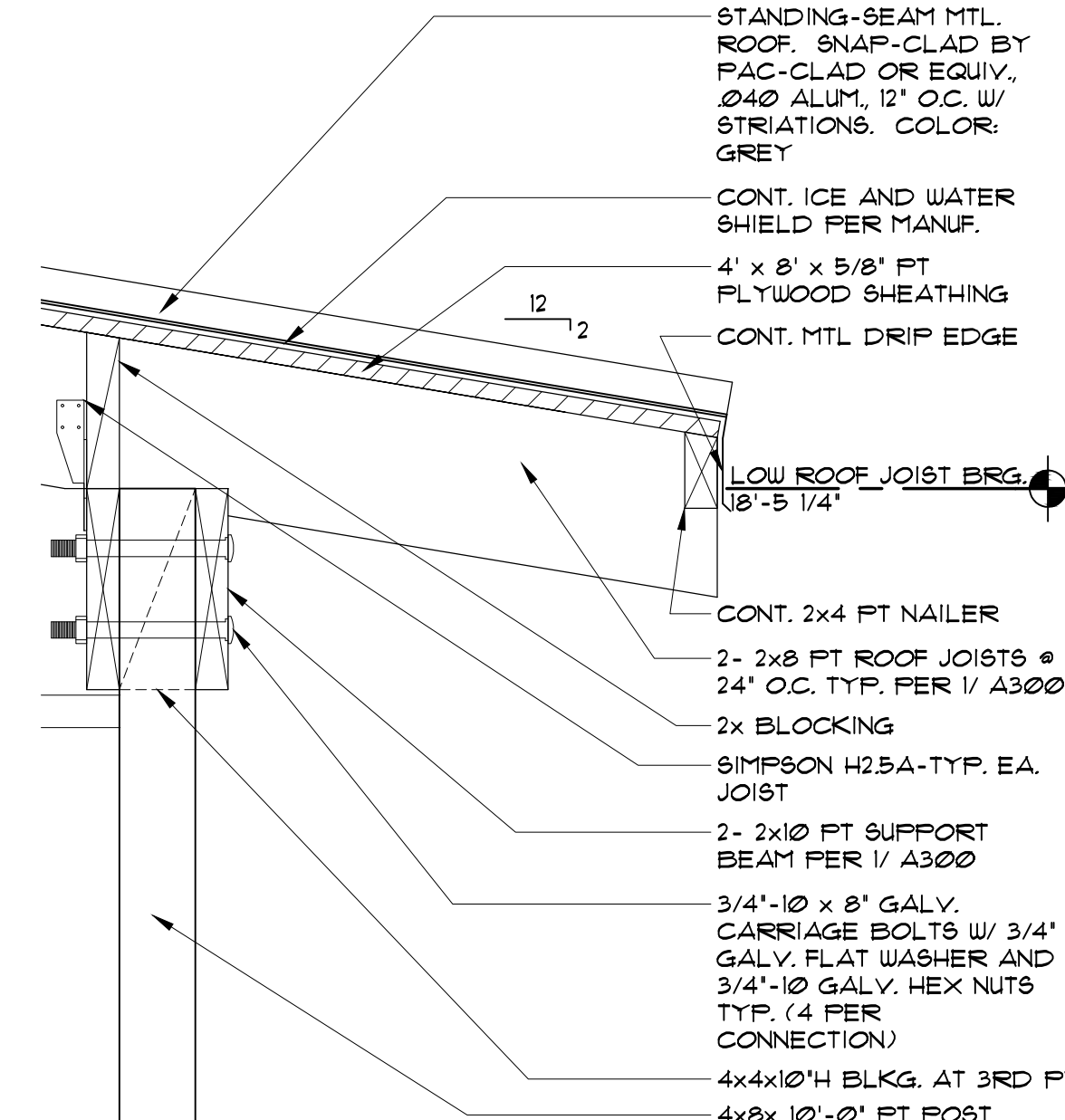
**5 DETAIL**  
SCALE: 1 1/2" = 1'-0"



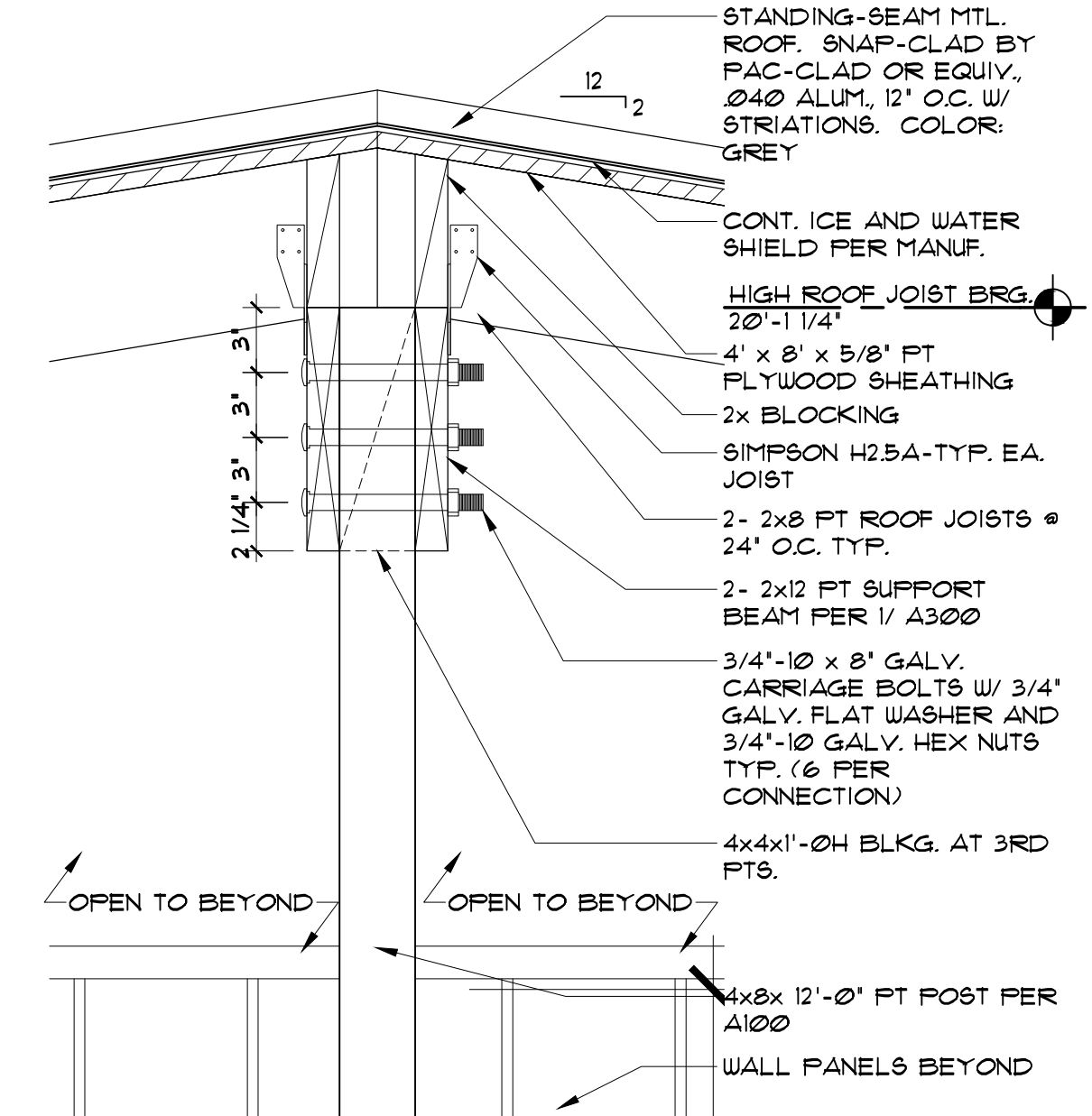
**6 DETAIL**  
SCALE: 1 1/2" = 1'-0"



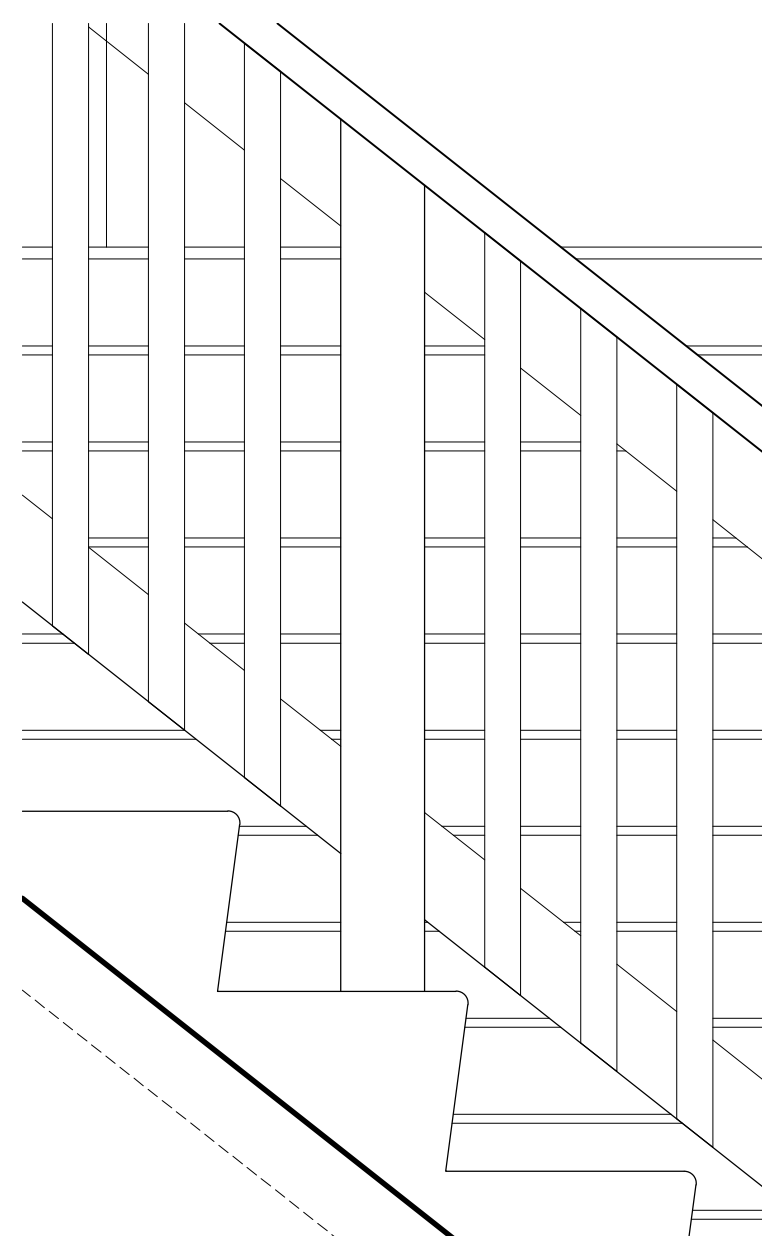
**7 DETAIL**  
SCALE: 1 1/2" = 1'-0"



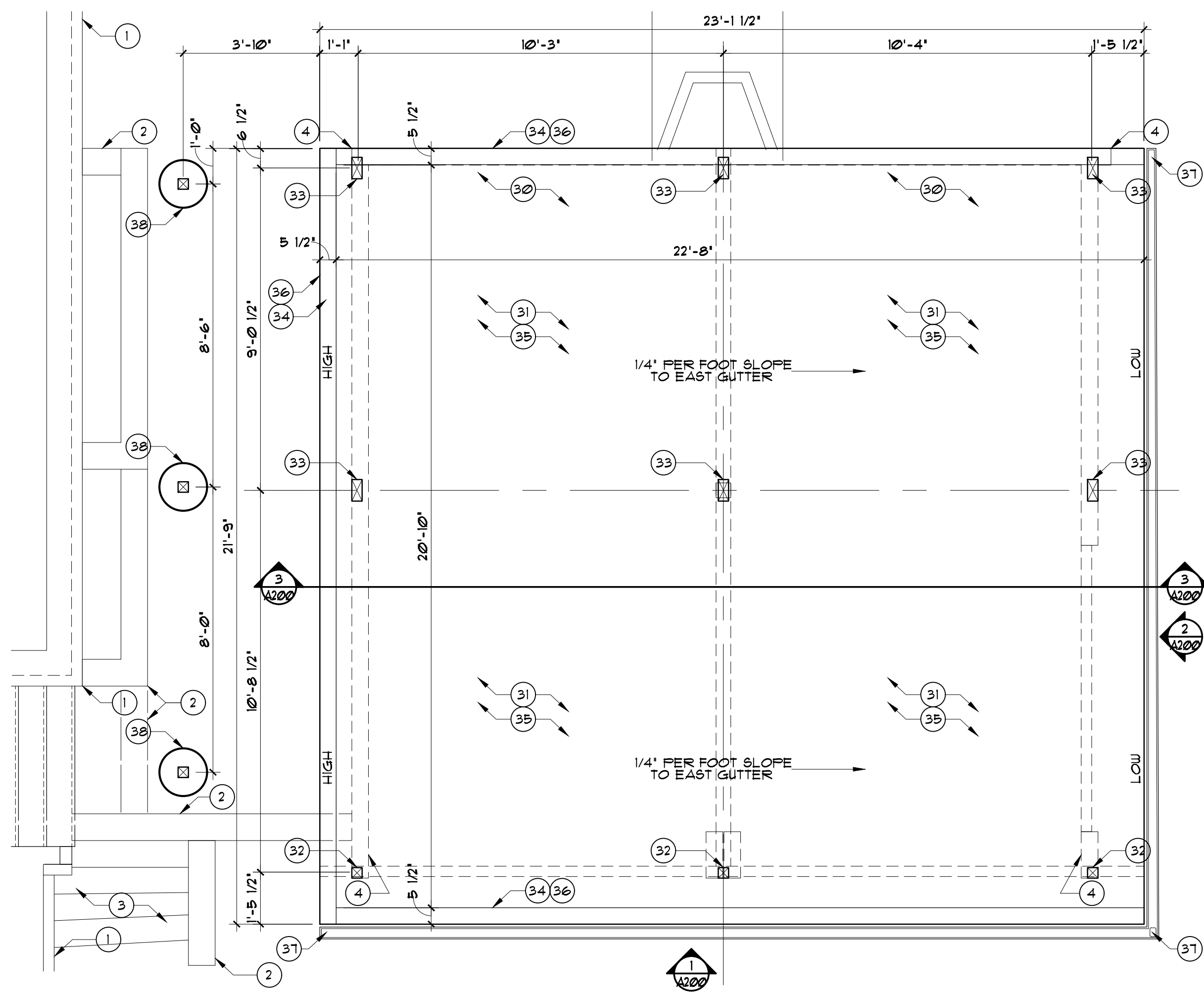
**8 DETAIL**  
SCALE: 1 1/2" = 1'-0"



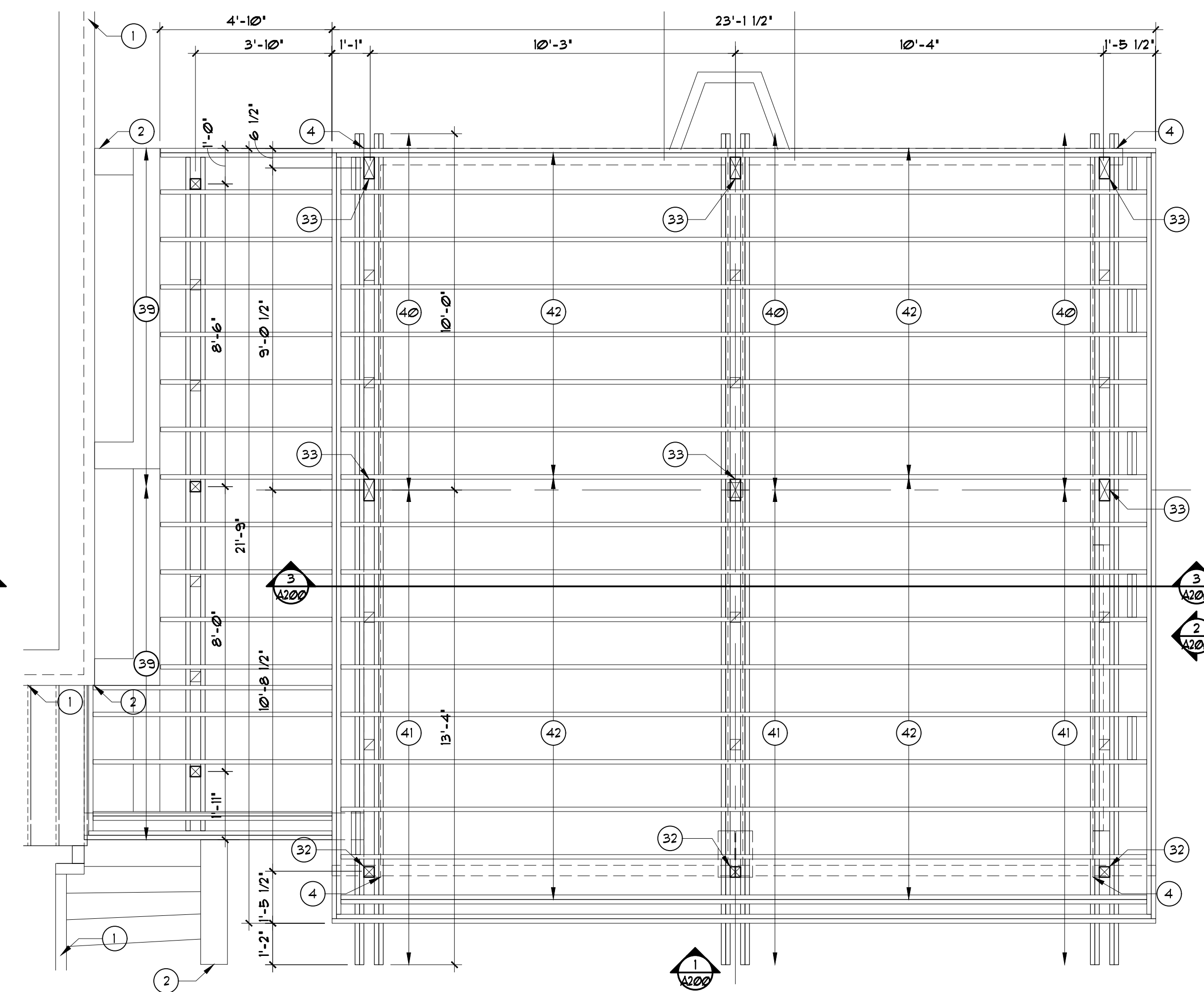
**9 DETAIL**  
SCALE: 1 1/2" = 1'-0"



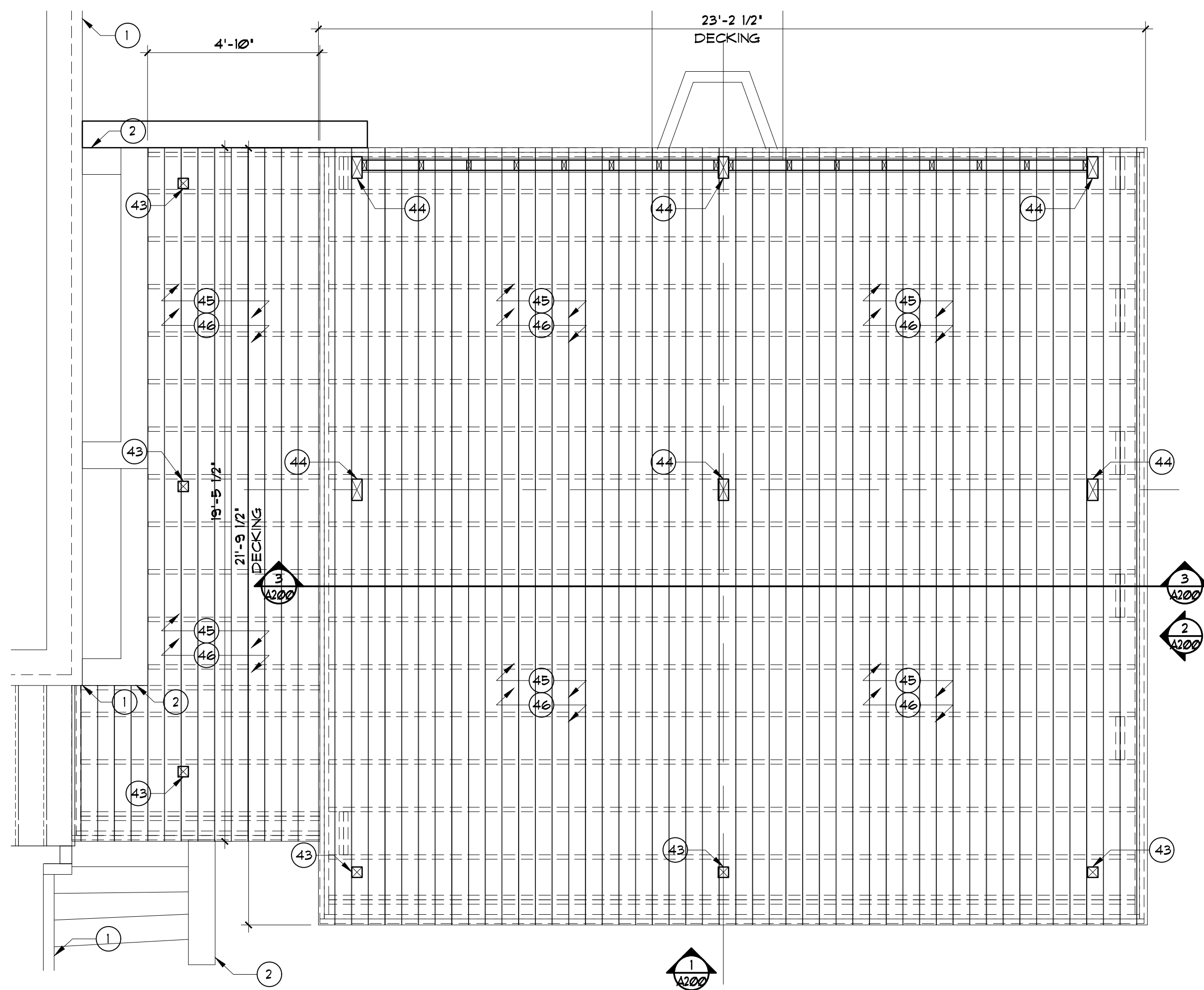
**10 DETAIL**  
SCALE: 1 1/2" = 1'-0"



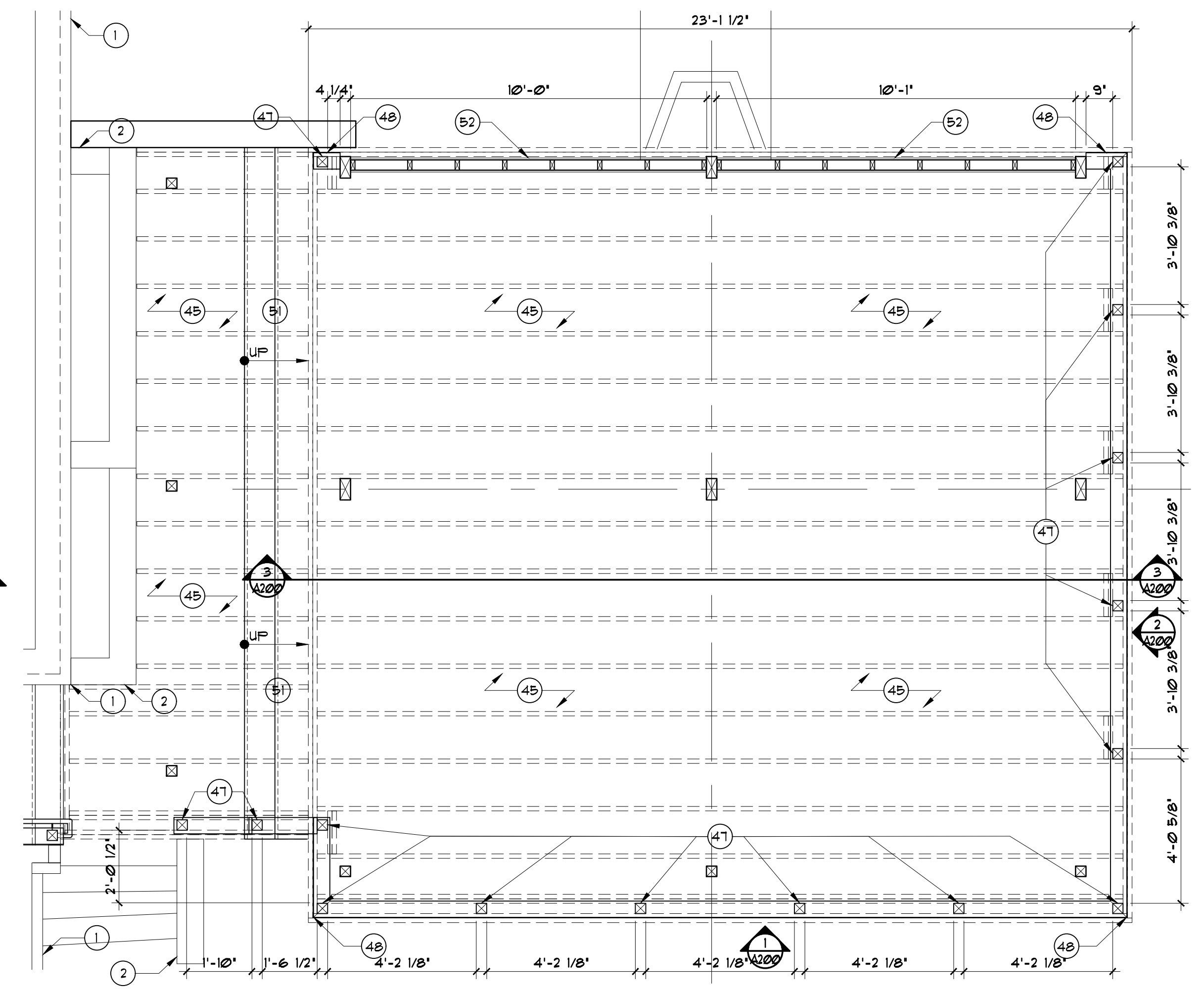
**1 ROOF PLAN**  
SCALE: 3/8" = 1'-0"



**2 FRAMING PLAN**  
SCALE: 3/8" = 1'-0"



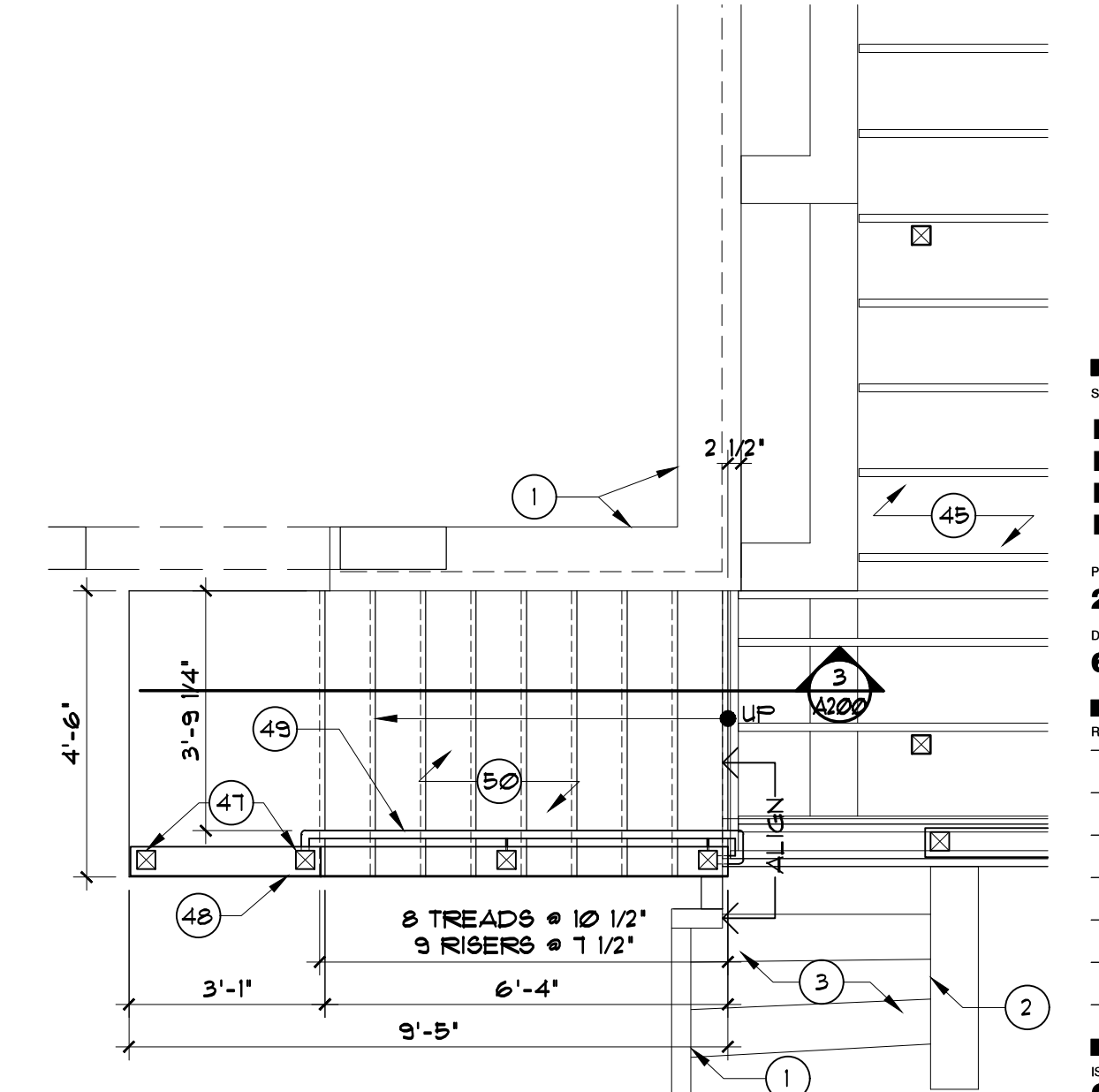
**3 DECKING PLAN**  
SCALE: 3/8" = 1'-0"



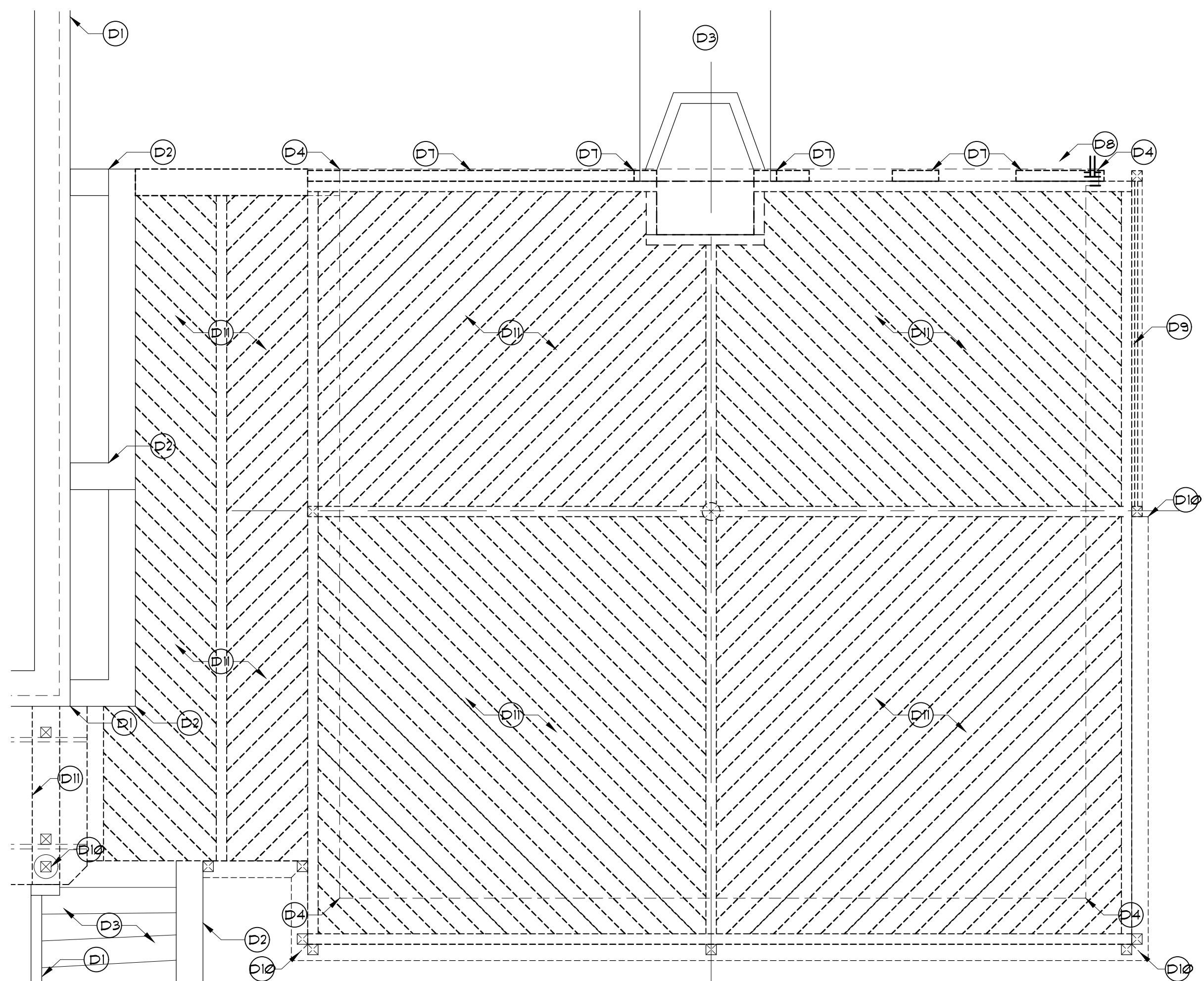
**4 RAILING PLAN**  
SCALE: 3/8" = 1'-0"

**KEYNOTES:**

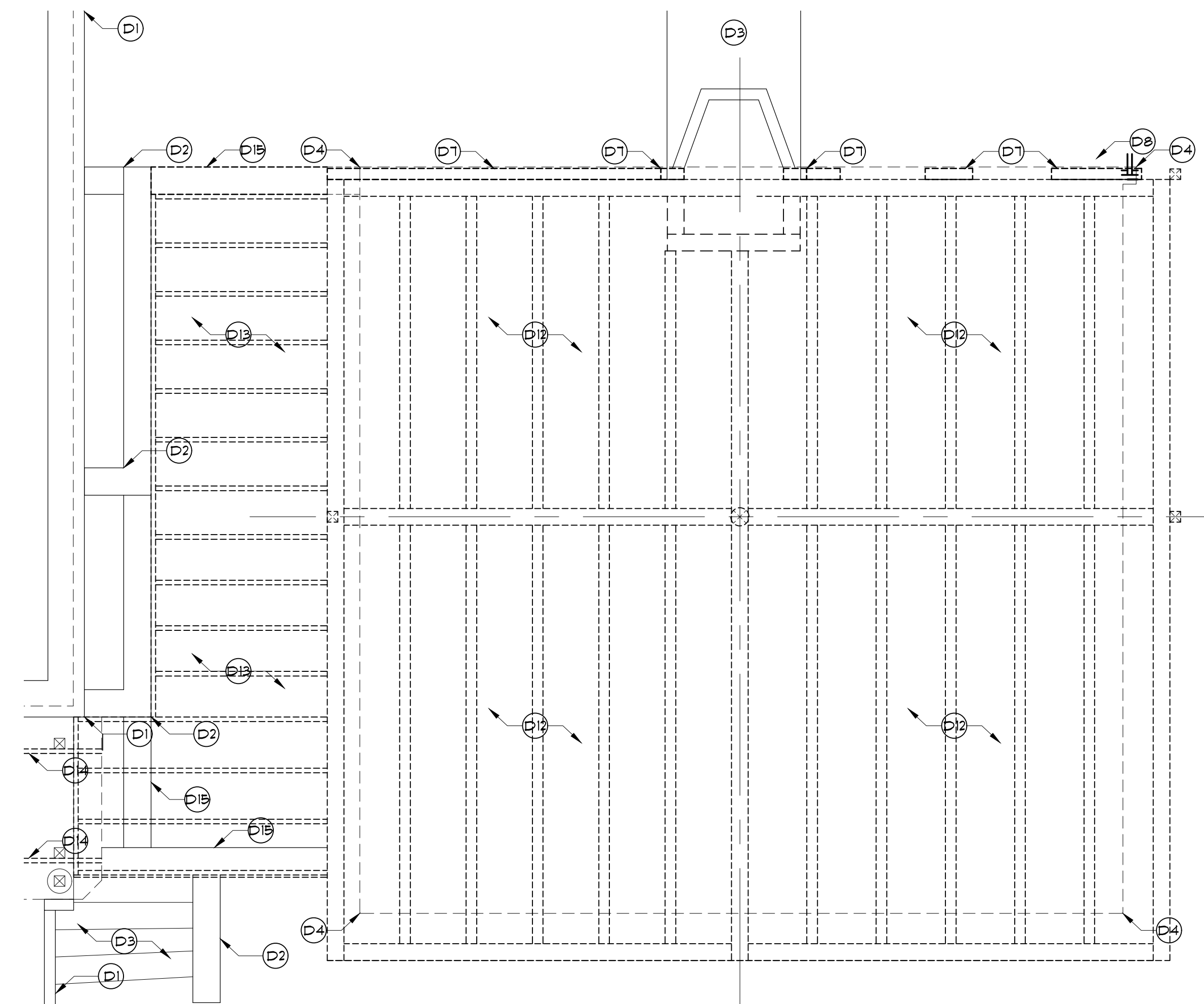
- 1 EXIST. MASONRY RETAINING WALL TO REMAIN. NOT IN SCOPE.
- 2 EXIST. RAILROAD TIE LANDSCAPE WALL AND PLANTER TO REMAIN. NOT IN SCOPE.
- 3 EXIST. CONCRETE STAIRS/ SLAB TO REMAIN. NOT IN SCOPE.
- 4 OUTSIDE LINE OF MASONRY WALL BELOW (GARAGE).
- 6 LINE OF EXIST. OVERHANG/ ROOF ABOVE.
- 30 REPLACE 2x8 RIM JOISTS (ROOF JOISTS) AS REQ.
- 31 3/4" T&G PT PLYWOOD DECK TO EXTENT DELINEATED.
- 32 PROVIDE 4x4 FT DECK POST. 2x BLOCKING IN JOIST SPACE BELOW TO MAS. BELOW (TYP. FOR 3). RE: 4, 5, 4 6/ A300.
- 33 PROVIDE 4x8 FT DECK POST. 2x BLOCKING IN JOIST SPACE BELOW TO MAS. OR TIMBER POST BELOW. (TYP. FOR 6). RE: 4, 5, 4 6/ A300.
- 34 2x6 FT CONT. ROOF CURB ON SOUTH, WEST, AND NORTH SIDES OF LOW ROOF DECK. RE: 4/ A300.
- 35 TAPERED RIGID INSULATION (1/4" PER FOOT) WITH 1/4" PRIMED DENSDECK CLASS A COVER BOARD AND 60 MIL SINGLE FLY EPDM FULLY ADHERED MEMBRANE ROOF.
- 36 FULL PERIMETER EAVE MTL. DRIP EDGE - ALONG OUTSIDE OF CURB AND TO GUTTER. COLOR/ STYLE TO MATCH MAIN HOUSE. RE: 44 6/ A300.
- 37 NEW EXTRUDED ALUM. GUTTER AND DOWNSPOUT. COLOR AND STYLE TO MATCH MAIN HOUSE.
- 38 16" DIA. x 8' HIGH PRE-CAST CONCRETE PIER WITH SIMPSON ABU 4x POST BASE AND 4x4 FT DECK POST (TYP OF 3).
- 39 2- 2x10x10'-0" FT CONT. BEAM (1 ON EA. SIDE OF 4x POST). CUT TO LENGTH PER FRAMING PLAN. RE: 2/ A300.
- 40 4- 2x12x10'-0" FT CONT. BEAM (2 ON EA. SIDE OF 4x POST). 4x4x1'-0" BLKG. AT THIRD POINTS. RE: 4, 5, 4 6/ A300.
- 41 4- 2x12x16'-0" FT CONT. BEAM (2 ON EA. SIDE OF 4x POST). CUT TO LENGTH PER FRAMING PLAN. 4x4x1'-0" BLKG. AT THIRD POINTS. RE: 4, 5, 4 6/ A300.
- 42 2x8 FT. DECK JOISTS @ 16" O.C. TYP.
- 43 4x4 DECK POSTS BELOW. SEE ALSO 32 AND 38.
- 44 4x8 DECK/ UPPER ROOF POSTS. SEE ALSO 33.
- 45 LINE OF DECK JOISTS BELOW.
- 46 2x6 REDWOOD DECK
- 47 4x4 FT RAILING POSTS (TO 36 1/2" ABOVE DECK SURFACE).
- 48 2x6 FT RAILING. RE: 1/ A300.
- 49 1 1/2" OD. HM. PIPE RAILING (HANDRAIL) AT 36" ABOVE LINE OF NOSING TO EXTENTS DELINEATED.
- 50 NEW CONCRETE STAIRS (3 RISERS @ 7 1/2", TREADS @ 10 1/2").
- 51 NEW WOOD STAIRS (3 RISERS @ 7 5/16", TREADS @ 11").
- 52 2x4 @ 16" O.C. TYP. W/ 5/8" TI-II SIDING ON EA. SIDE. PROVIDE 2x6 CAP.



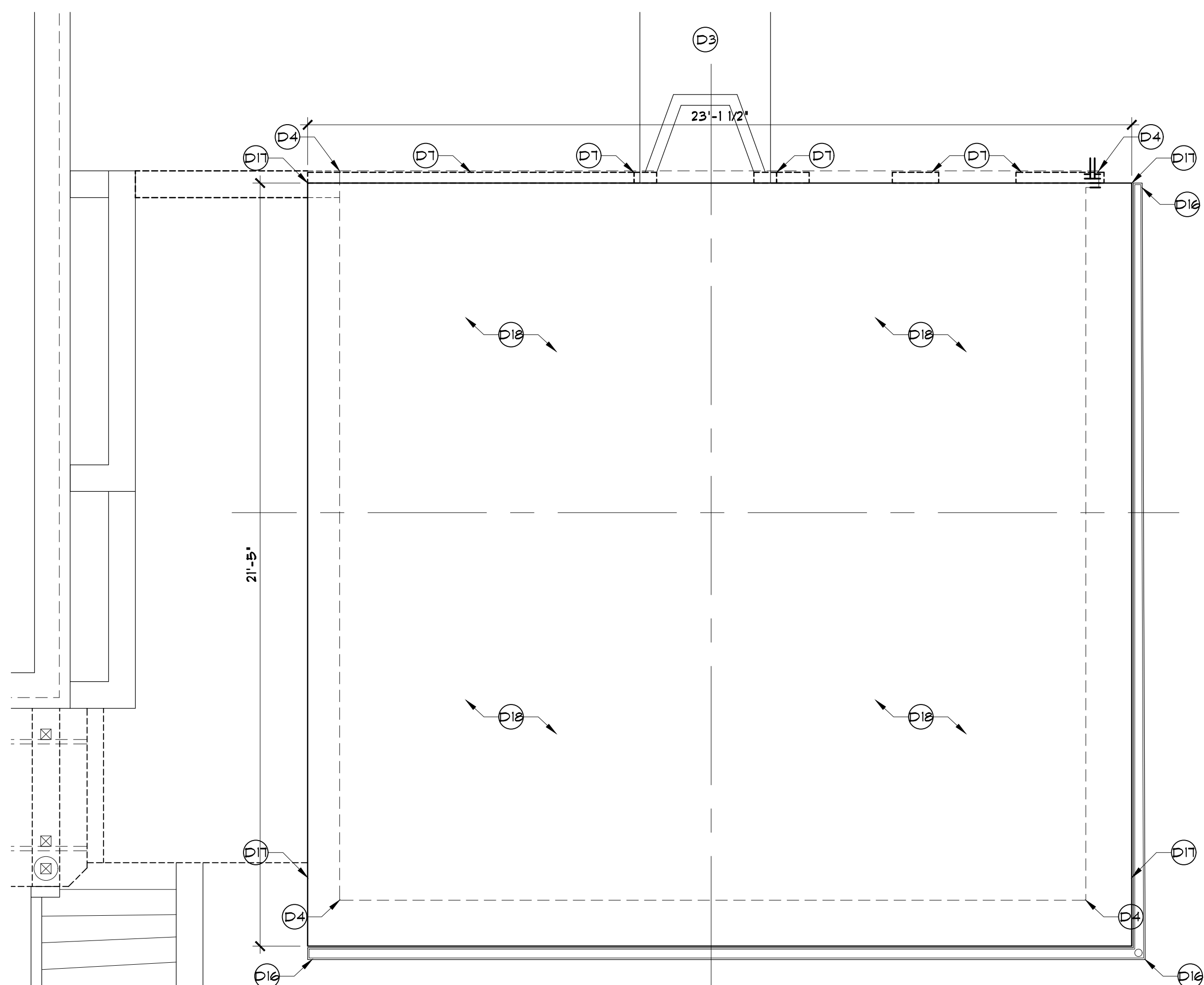
**5 STAIR PLAN**  
SCALE: 3/8" = 1'-0"



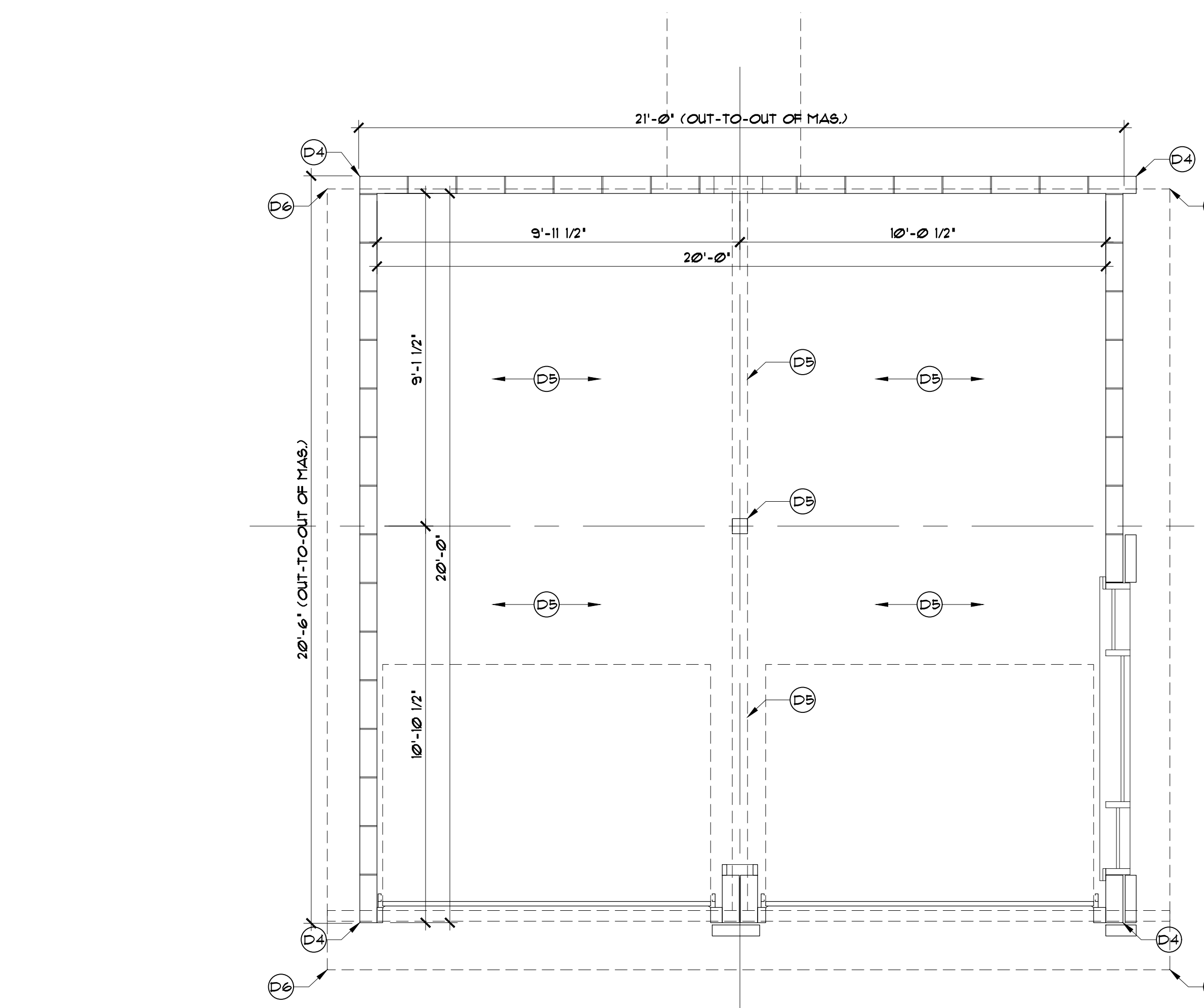
**1 DECK DEMOLITION PLAN**  
SCALE: 3/8" = 1'-0"



**2 ROOF-SLEEPER DEMOLITION PLAN**  
SCALE: 3/8" = 1'-0"



**3 ROOF DEMOLITION PLAN**  
SCALE: 3/8" = 1'-0"

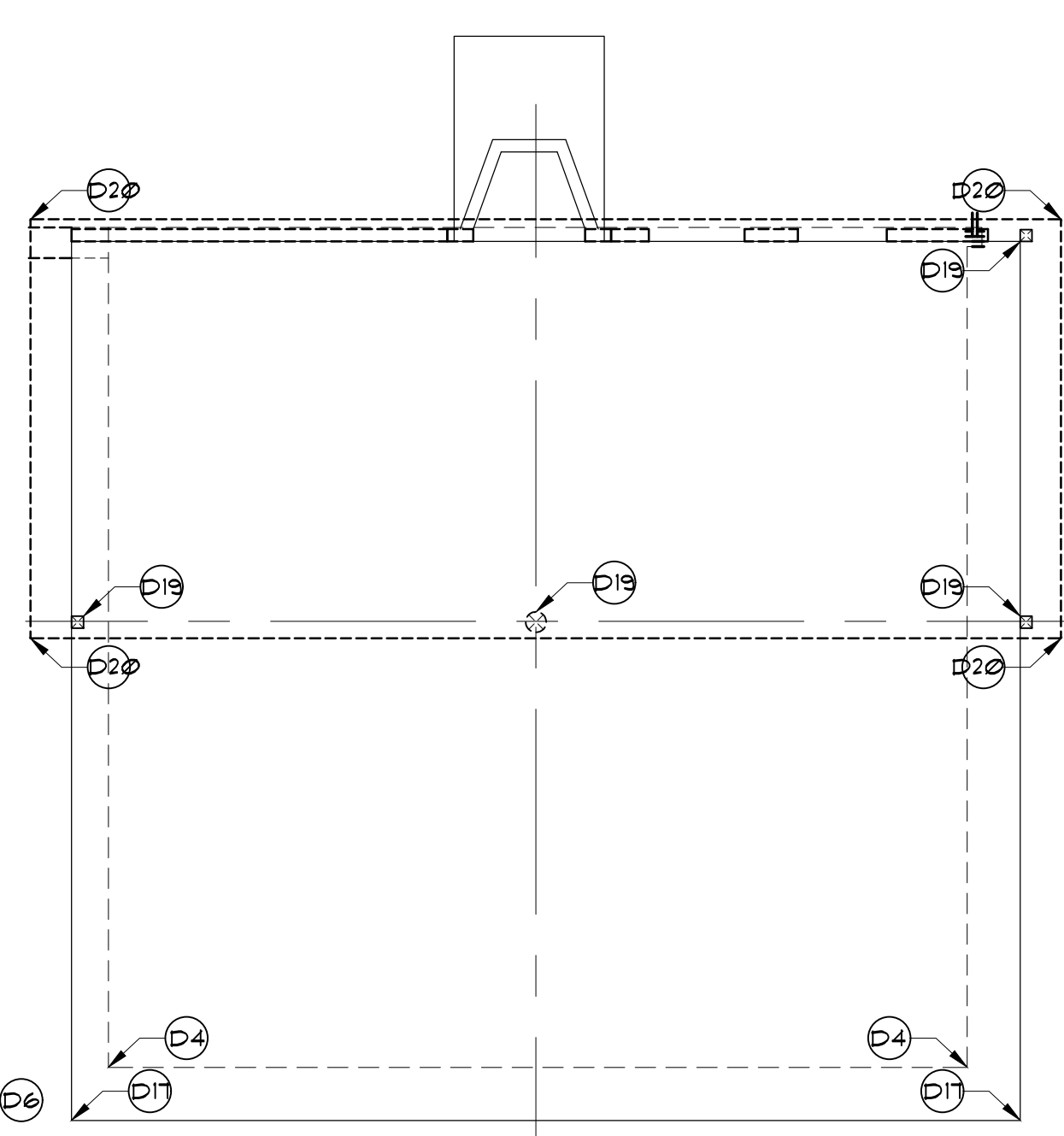


**4 GARAGE PLAN - FOR REFERENCE ONLY - NO CHANGES**  
SCALE: 3/8" = 1'-0"

### FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN.
- NEW WALL, SEE WALL TYPES.
- - - EXISTING WALL OR ITEM TO BE REMOVED.
- - - LINE BELOW OR BEYOND
- - - LINE ABOVE
- (X) KEYNOTE
- (X) WALL TYPE
- [ ] NEW BASE CABINET
- [ ] NEW UPPER CABINET
- [ ] FURNITURE OR EQUIPMENT, NOT IN CONTRACT OR BY OTHERS.

- ### KEYNOTES:
- D1 EXIST. MASONRY RETAINING WALL TO REMAIN. NOT IN SCOPE.
  - D2 EXIST. RAILROAD TIE LANDSCAPE WALL AND PLANTER TO REMAIN. NOT IN SCOPE.
  - D3 EXIST. CONCRETE STAIRS OR SLAB TO REMAIN. NOT IN SCOPE.
  - D4 OUTSIDE LINE OF MASONRY WALL BELOW (GARAGE).
  - D5 EXIST. 5x5 HEAVY TIMBER POST, 6"x11" LAMINATED TIMBER BEAM, 2x8 ROOF JOISTS, AND OVERHEAD DOORS TO REMAIN. NOT IN SCOPE.
  - D6 LINE OF EXIST. OVERHANG/ ROOF ABOVE.
  - D7 REMOVE EXIST. FULL HEIGHT 3 5/8" SPLIT FACE MASONRY WALL.
  - D8 REMOVE EXIST. FULL HEIGHT WOOD STUD WALL.
  - D9 REMOVE EXIST. FULL HEIGHT T-1-11 PANEL.
  - D10 REMOVE EXIST. 4x4 RAILING POSTS AND RAILING/ 4x4 STAIR RAILING POSTS AND RAILING.
  - D11 REMOVE EXIST. 2x6 WOOD DECKING, 2x4 ACCENT BANDS, 2x10 WOOD STAIRS.
  - D12 REMOVE EXIST. (FLAT) 2x4 AND 2x6 WOOD SLEEPER JOISTS.
  - D13 REMOVE EXIST. 2x8 DECK JOISTS AND ASSOCIATED JOIST HANGERS.
  - D14 REMOVE EXIST. 2x10 STAIR STRINGERS (TYP. FOR 2), 4x4 POSTS (TYP. OF 4), AND 10" CONCRETE PIERS (TYP. OF 4).
  - D15 REMOVE EXIST. RAILROAD TIES AS REQ. FOR NEW JOIST FRAMING, RE: 2/ A100.
  - D16 REMOVE EXIST. ALUMINUM GUTTERS AND DOWNSPOUT.
  - D17 EDGE OF EXIST. ROOF.
  - D18 REMOVE EXIST. ROOF MEMBRANE AND PLYWOOD SUBSTRATE TO EXPOSE ROOF JOISTS BELOW. REPLACE 2x8 ROOF JOISTS AS REQ.
  - D19 REMOVE 4x4 ROOF SUPPORT POSTS/ 6" DIA. CENTER POST.
  - D20 REMOVE 2x10 ROOF SUPPORT BEAMS, 4x4 ROOF FURLINS, CORRUGATED METAL ROOF DECK, AND GUTTERS/ DOWNSPOUTS.



**5 UPPER ROOF DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"